



PSPB COA PROPOSAL - CORRECTIONS

CLARK
BARNES

GRAND CENTRAL BLOCK

BRUNSWICK-BALKE-COLLENDER CO + GOTTSTEIN + SQUIRE LATIMER

200 S 1ST ST, Seattle, WA 98104

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1937
BUTTNICK
(BRUNSWICK-BALKE-COLLENDER CO)
2021



1937
CITY LOAN
(GOTTSTEIN)
2019



1937
GRAND CENTRAL
(SQUIRE LATIMER)
2021



PROJECT OVERVIEW

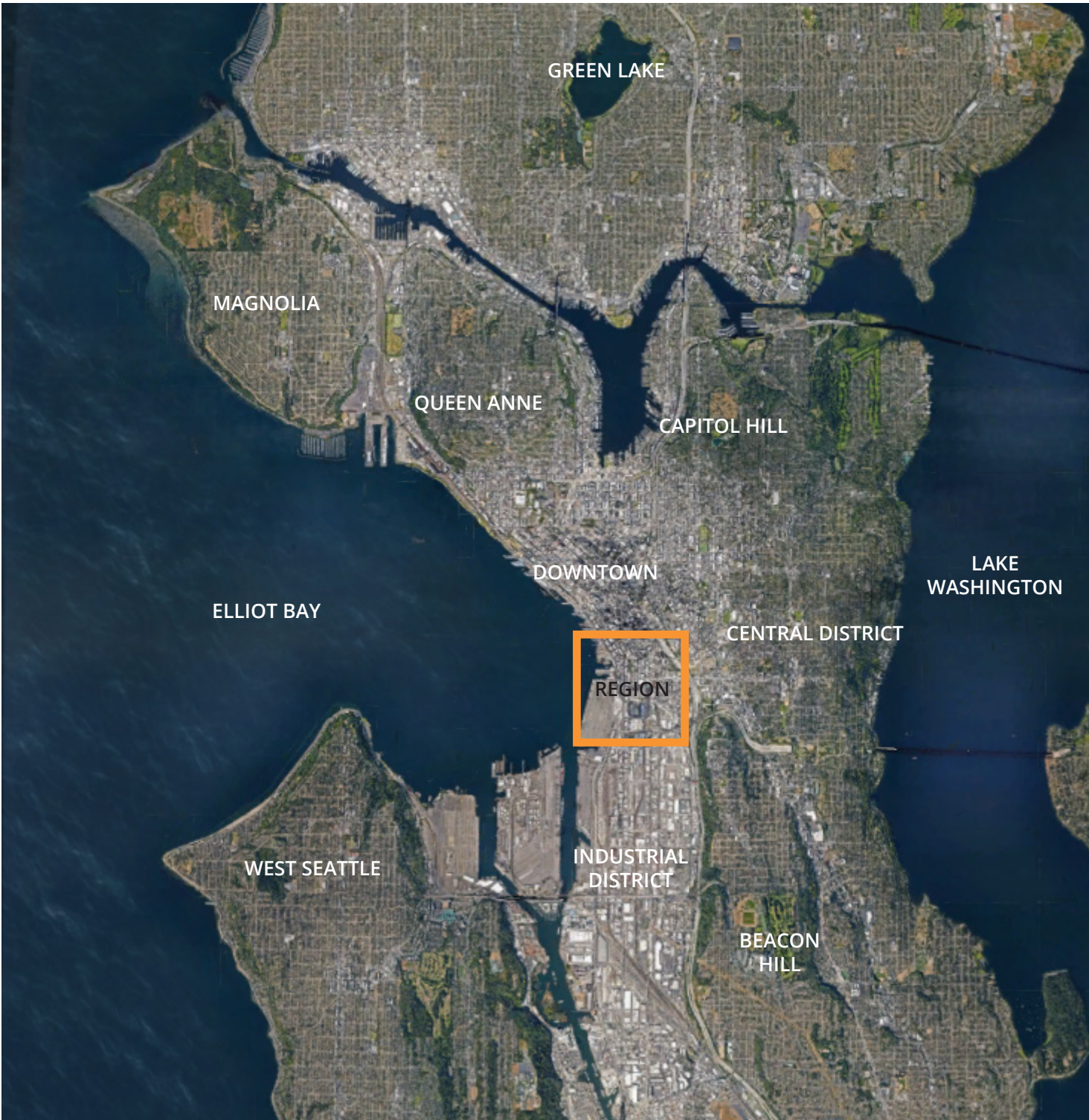
PERMIT NUMBERS:	6714121-CN 3035920-LU 410949 (SIP)
OUTLINE OF PROPOSED WORK:	<ul style="list-style-type: none">Substantial alteration/addition of the Buttnick, City Loan, and Grand Central buildings that maintains the existing ground floor retail and restaurant uses with office uses aboveConnect all three buildings to operate as a single building while maintaining their individual historic characterAdd single-story penthouses above the Buttnick and Grand Central buildingsMeet or exceed LEED Gold + requirementsSelectively remove interior elements to accommodate future TI workSelective removal of exterior elements (see elevations)Install new mechanical, electrical, plumbing, and fire protection systemsBuilding upgrades as necessary to comply with substantial alteration requirements, including: seismic upgrades, fire and life safety upgrades, efficient mechanical electrical and plumbing systems, and other energy performance improvements

DESCRIPTION OF WORK :

DEMO	<ul style="list-style-type: none">Remove/relocate all stairs except historic monumental stair (includes removal of exterior stair enclosures at Buttnick and City Loan)Remove existing roofsRemove existing storefronts, windows, doors, and unused louversRemove existing awningsSelective masonry removal at alleyRemove City Loan greenhouse at alleyRemove biological growth (ivy) from masonry
EGRESS	<ul style="list-style-type: none">New North and South egress stairs
STRUCTURAL / SEISMIC	<ul style="list-style-type: none">Support for enlarged exterior opening at alleySeismic URM retrofit to include strengthening of existing brace frames, new brace frames, shotcrete shear walls, and tie rod braces at penthouse
ELECTRICAL	<ul style="list-style-type: none">New electrical vault and required exhaust

BUILDING INFORMATION:	
ADDRESS	200 1st Ave S , Seattle, WA 98104
PARCEL ID	524780-0380, 524780-0385, 524780-0390
ZONING	Pioneer Square Mixed-100
HISTORIC	Pioneer Square Preservation District Pioneer Square-Skid Road National Historic District Grand Central - National Register Listed Property (Project will pursue National Historic Tax Credits)
LAND AREA	26,633 SF
BUILDING AREA	141,413 SF (w/ proposed additions)
BUILDING HEIGHT	5 Stories, 79'-0" (not a high-rise building)
OCCUPANCY	Ground Floor - Restaurant (A-2), Office (B), Retail (M), Storage (S) Basement and Floors 2-5 - Office (B), Storage (S) No change of use
CONSTRUCTION	Type III-A; Load bearing URM w/ heavy timber structure
MECHANICAL	<ul style="list-style-type: none">New rooftop mechanical equipment and venting locations.
ACCESSIBILITY	<ul style="list-style-type: none">Revisions at entries to complyInternal level modifications at City Loan
EXTERIOR ENVELOPE	<ul style="list-style-type: none">New roof and penthouse will comply with energy codeEnlarged exterior opening at alleyNew energy efficient storefrontsTuck pointing and general repairs of brick as needed for maintenanceIvy will not be replaced
SITE	<ul style="list-style-type: none">Limited work as needed for utilities

PROJECT LOCATION

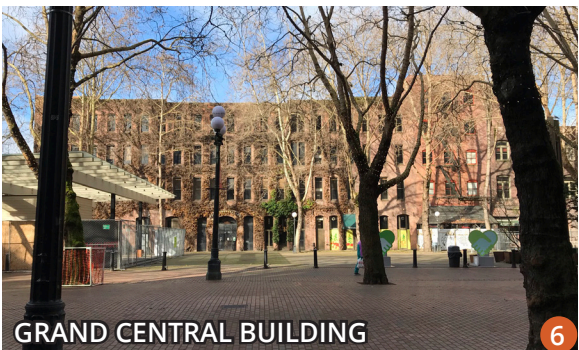
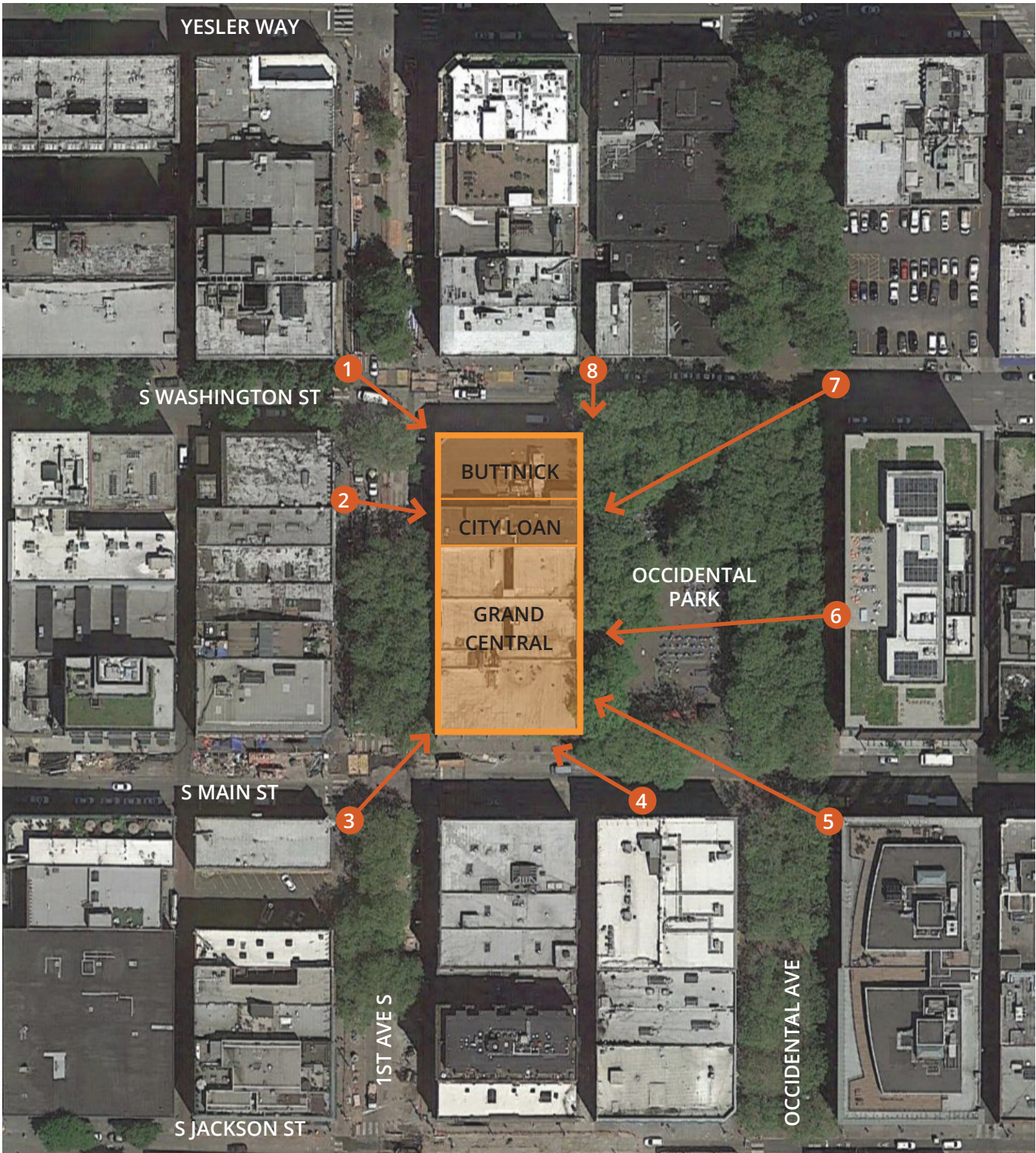


AERIAL VIEW, REGION WITHIN SEATTLE, WASHINGTON

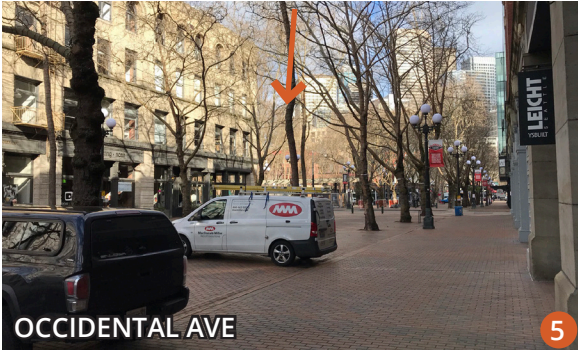
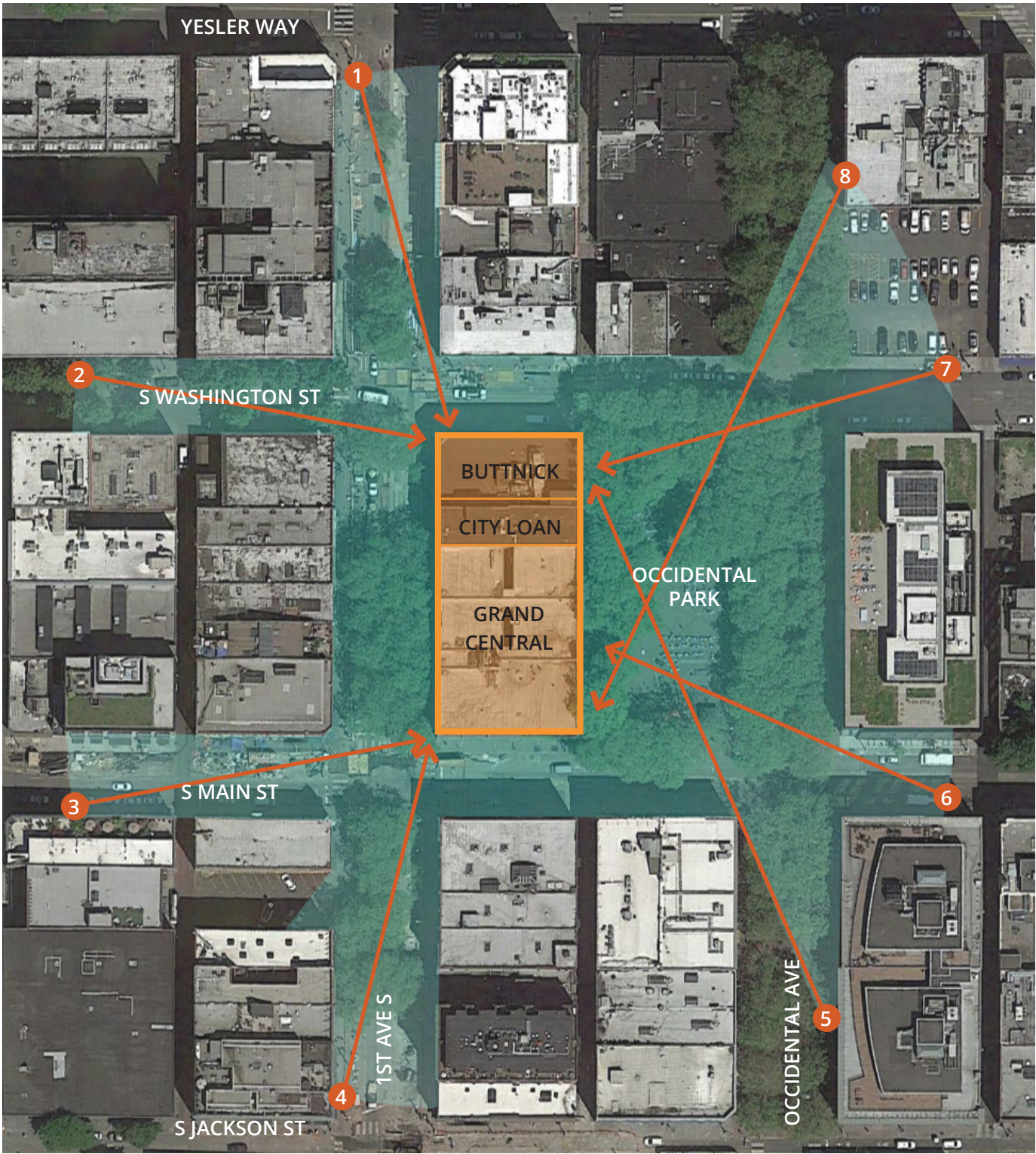


AERIAL VIEW, PIONEER SQUARE - SKID ROAD NATIONAL REGISTER HISTORIC DISTRICT

LOCATION - IMMEDIATE VICINITY



LOCATION - 300 FOOT SIGHT LINE LIMITS



BUILDING HISTORY

PIONEER SQUARE PERIOD OF SIGNIFICANCE: 1889 - 1931

DATES WITHIN PERIOD OF SIGNIFICANCE SHOWN IN ORANGE

- 1889

Fire destroys all buildings on the site along with much of what is today Pioneer Square. Seattle passes Ordinance No. 1147 requiring fire resistant for all new construction.
- 1890

The Squire Latimer Building (later known as the Grand Central Hotel) is built on the South end of the site as office building.
- C.1897

Squire Latimer is renovated into the Grand Central Hotel.
- 1903

The Gottstein Building (later known as the City Loan Building) is built on the lot North of Squire Latimer. It incorporates the party wall of the Kenyon Hotel (demolished around this time) to the North.
- 1909

The Brunswick-Balke-Collender Co Building (Later the Buttnick Manufacturing Building) is built on the North end of the site.
- 1938

Buttnick catches fire and is renovated.
- 1949

A major earthquake results in the loss of parapets.
- 1950

Large gas explosion in the basement of Buttnick destroys the North and West facades and much of the building interior.
- 1950S

Buttnick is rebuilt with a Moderne storefront facade.
- 1965

A major earthquake causes damage to the buildings.
- 1971

The city creates a landscaped square (Occidental Square) on the parking lot to the East.

- 1972

Ralph Anderson renovates the Grand Central Hotel into an office building with ground floor retail and an interior arcade between 1st Ave S and Occidental Square.
- 1974

An exterior basement stairway is added to the east side of Buttnick. The greenhouse is added to the East end of City Loan.
- 2001

A major earthquake causes damage to the buildings.
- 2002

Buttnick and City Loan are renovated and combined to serve as a single building with shared elevator, stairs, and seismic retrofit.



LOCATION OF SITE WITHIN THE PIONEER SQUARE PRESERVATION DISTRICT



WEST VIEW OF THE BLOCK SHOWING ALL 3 BUILDINGS - 1909



ORIGINAL CONTEXT OF THE SITE - 1931



CONTEXT OF THE SITE WITH OCCIDENTAL SQUARE - C.1974

HISTORIC FEATURES

CLARK
BARNES

BRUNSWICK-BALKE-COLLENDER BUILDING / BUTTNICK

Contributing Building to the Pioneer Square Historic District.
Period of significance - Explosive Growth (1900-1910)

Key historic features of the building include:

- Exterior load bearing URM walls
- Chamfered entrance on the northwest corner
- Rectangular 1:2 windows
- Sandstone string courses and sills



NEWS ARTICLE OF THE 1950 EXPLOSION AT BUTTNICK



NORTHWEST CORNER OF BUTTNICK - 1915



NORTHWEST CORNER OF BUTTNICK - 1952

GOTTSTEIN BUILDING / CITY LOAN

Contributing Building to the Pioneer Square Historic District.
Period of significance - Explosive Growth (1900-1910)

Key historic features of the building include:

- Exterior load bearing URM walls with sandstone and light gray brick on the West facade and red brick on the remaining facades
- Storefront with cast iron header and wood support columns
- Large window bays with cast iron lintels and sandstone sills on the west facade of floors 2-5
- Small double hung windows on the east facade of floors 2-5
- Exterior metal fire escape at alley elevation



WEST ELEVATION OF CITY LOAN - 1937

HISTORIC FEATURES

SQUIRE-LATIMER BUILDING / GRAND CENTRAL

Individually listed on the National Register of Historic Places in 1971.
Period of significance - Reconstruction (1889-1899)

Key historic features of the building include:

- Exterior load bearing URM walls
- Slightly asymmetrical primary facades
- Main arched stone entry w/ deeply recessed doorway and stone detailing
- Pilasters (rusticated stone at ground level and brick above)
- Storefronts with cast iron columns and lintels
- Window shape and rhythm: rectangular w/ stained glass at 2nd floor, low arch at 3rd floor, rounded arch at 4th floor; Unique windows at the West entry bay and South center bay
- Sandstone sills, string courses, and other detailing
- Entry lobby with wood staircase around an elevator shaft
- Interior light wells from 2nd to 4th floor



SOUTHWEST CORNER OF GRAND CENTRAL -1937



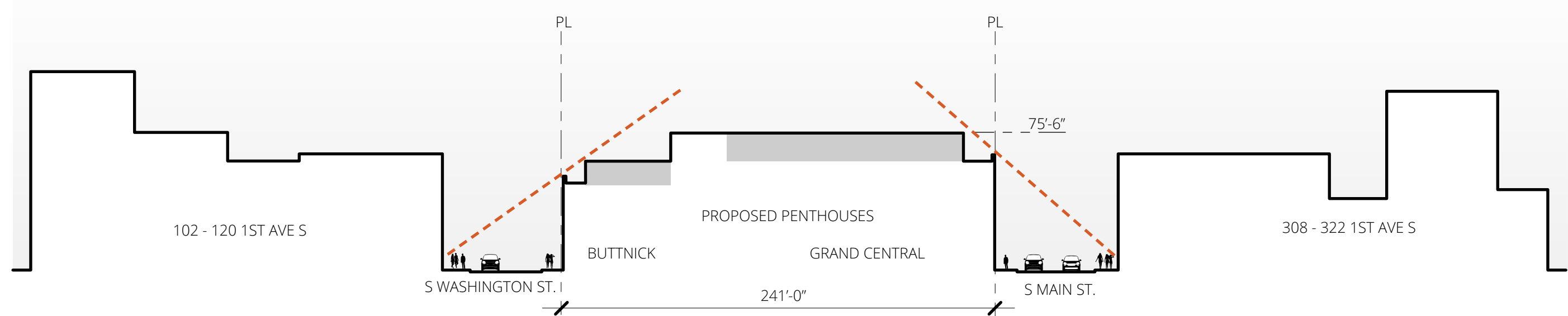
WEST ELEVATION OF GRAND CENTRAL - 1969



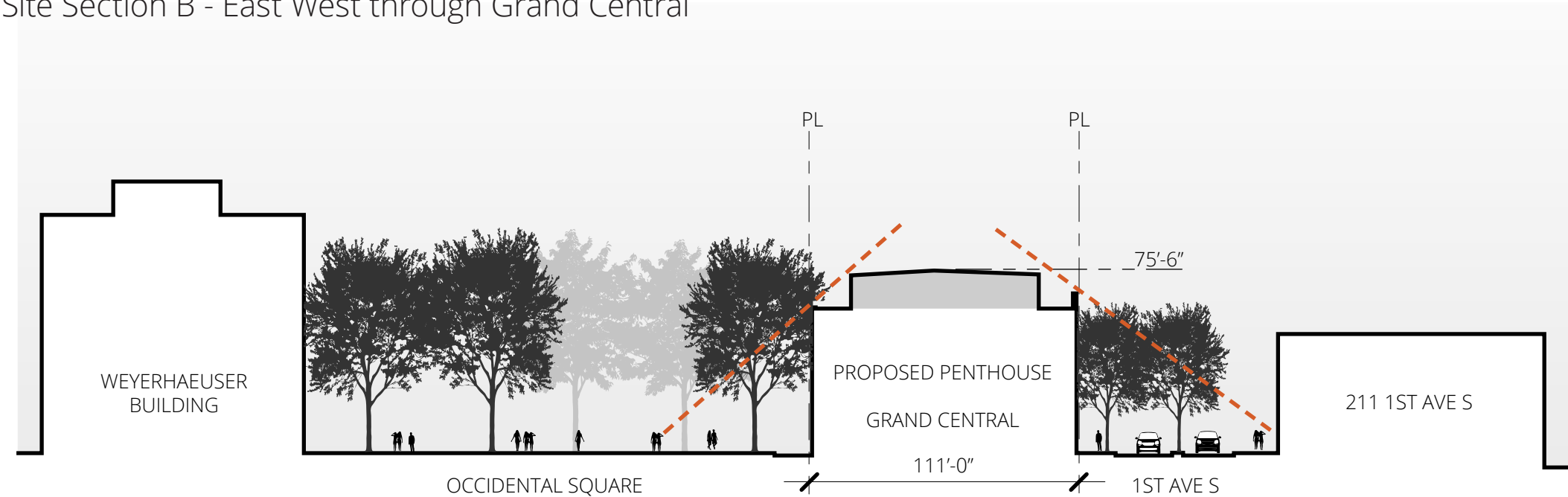
SOUTHWEST CORNER OF GRAND CENTRAL -1974

URBAN DESIGN ANALYSIS - SITE SECTIONS

Site Section A - North South



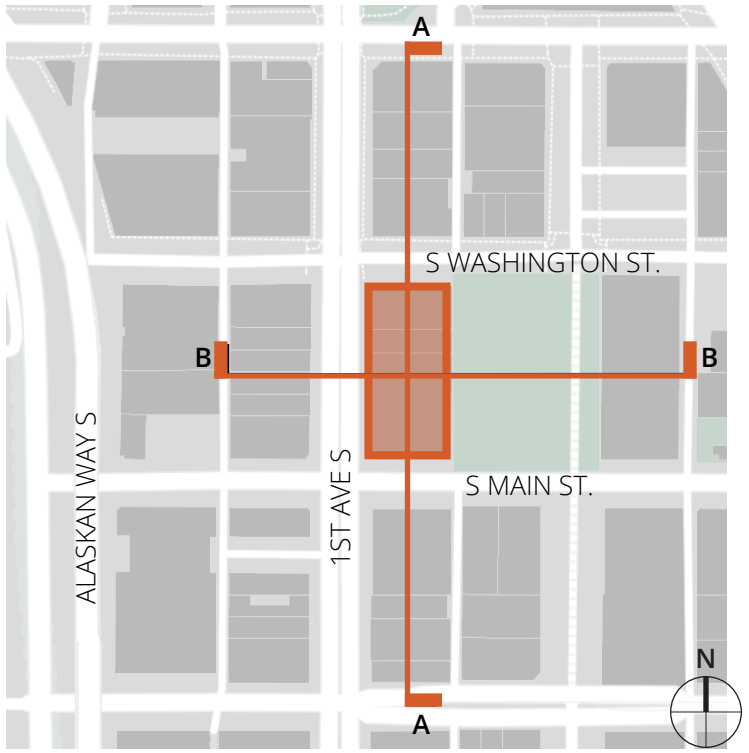
Site Section B - East West through Grand Central



EXPLANATION



The diagrams show the proposed penthouses in the context of the surrounding neighborhood. The heights are in scale with the surrounding buildings and with the block itself.

The penthouses are not visible from across the streets as shown by the orange lines. A penthouse mockup was performed to identify when the penthouses become visible. The trees also block visibility of the penthouses.



ROOF - SELECTIVE REMOVAL

LEGEND

-  Remove Element
-  Historic Element

KEYNOTES

- A** Remove stair
- B** Remove equipment
- C** Remove roof + structure
- D** Lower fire wall
- E** Remove skylight
- F** Light well to remain



ROOF PLAN

"WHAT WE HEARD"

The plans stated that the coverage is 53% which is over the 50% allowed in the code for use as an office or residential penthouse. SMC 23.41.012 lists measurements and maximum size of use as items that are not departable. (Staff Report 8/5/2020)

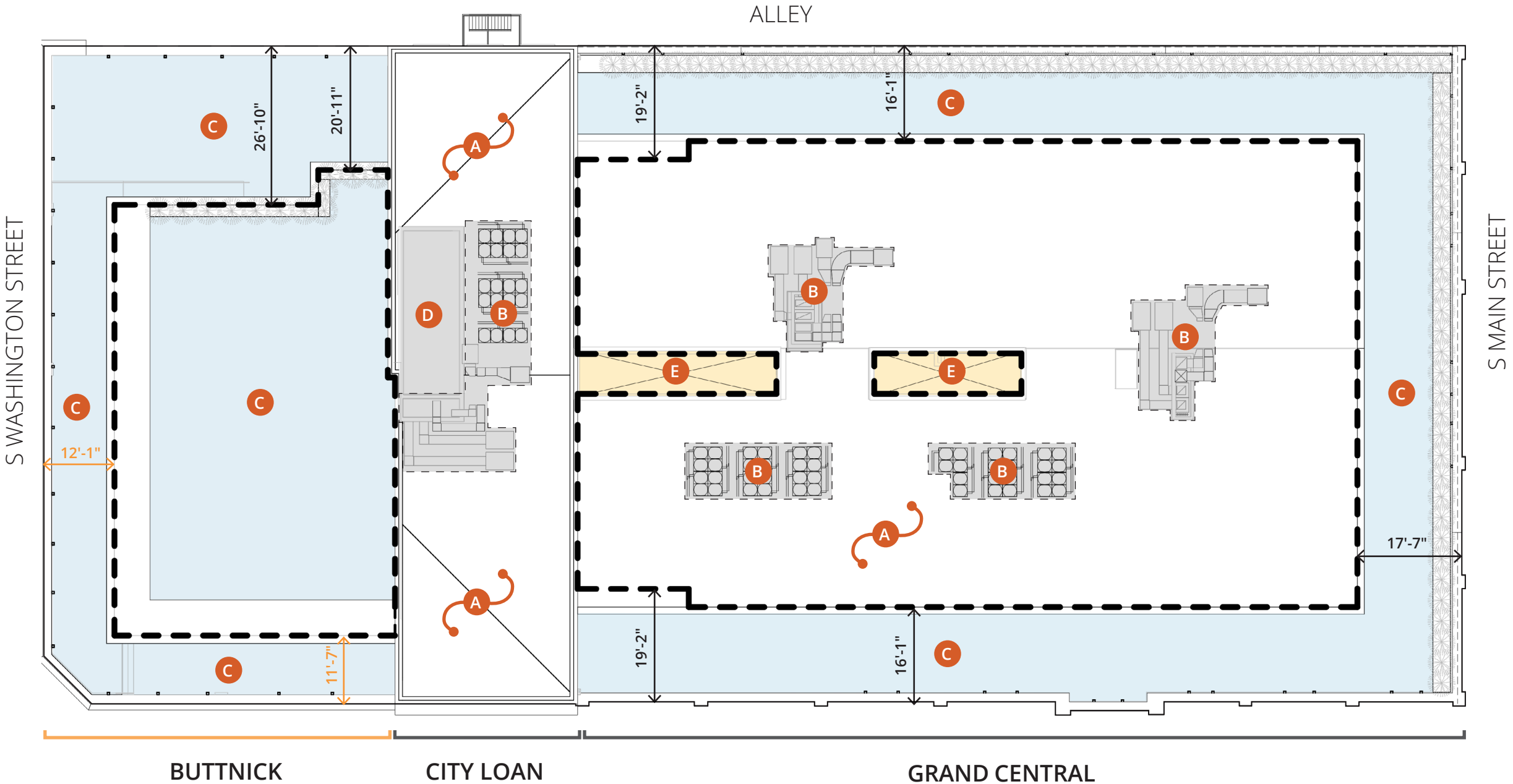
The penthouse has been reduced to 50% roof coverage.

LEGEND

- New Roof Deck
- Historic Element
- Utility/ Mechanical/ Service
- Outline of Penthouses below roof

KEYNOTES

- A Light gray TPO roof
- B Mechanical
- C Occupied roof deck
- D Elevator overrun
- E Light well to remain



ROOFTOP COVERAGE

Total building area:	26,646 SF	
Total Office penthouse area:	13,321 SF	(50%)
Total Elevator penthouse area:	321 SF	(1%)
Total Mech penthouse area:	1,482 SF	(6%)

ROOFTOP PLANTERS

All final landscape elements to be designed as part of the TI. Restrictions on the type of planting allowed are in place due to weight limitations. The plants are limited to groundcover, low plants, and grasses. Trees and shrubs are not supported by the rooftop planters and are not allowed.

PENTHOUSE - BUTTNICK STRUCTURE DIAGRAMS

"WHAT WE HEARD"

Code also requires that the penthouse be set back 15 feet. Some of the roof floor plans show a 15-foot set other show less of a setback. However, on the Buttnick building the setback does not comply with 15 foot set back requirement. The code does allow for the Board to modify the setbacks for rooftop features if the feature is minimally visible from 300 feet. (Staff Report 8/5/2020)

The Grand Central Building is in full compliance with the 15' setback.

The Buttnick penthouse is set back greater than 15' on the East side. The North and West setbacks align with the structure below in compliance with the Secretary of Interior Standards for Rehabilitation.

The diagrams provided show the structural system of Buttnick. The edge of the penthouse is based on the locations of existing columns.

A transfer beam keeps the Northwest corner supported without impacting the exterior windows.

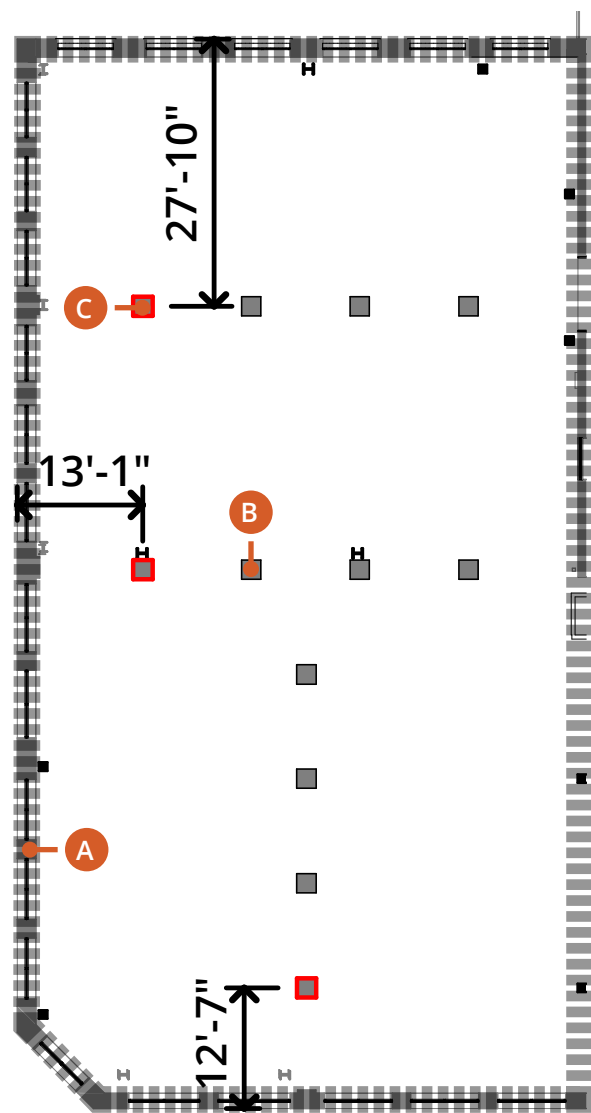
The North and West parapet are higher than the East parapet and keep the penthouse hidden even though it is closer to the edge of the building. The height of the penthouse has dropped 1' since the last Board Briefing.

Seismic cross bracing connects to the centerline of the columns on all three elevations. The storefront glass cannot be installed in the same plane as the cross bracing. The cross bracing cannot be installed on the exterior of the building. The penthouse exterior walls must be located outboard of the columns to allow the cross bracing to pass behind the storefront.

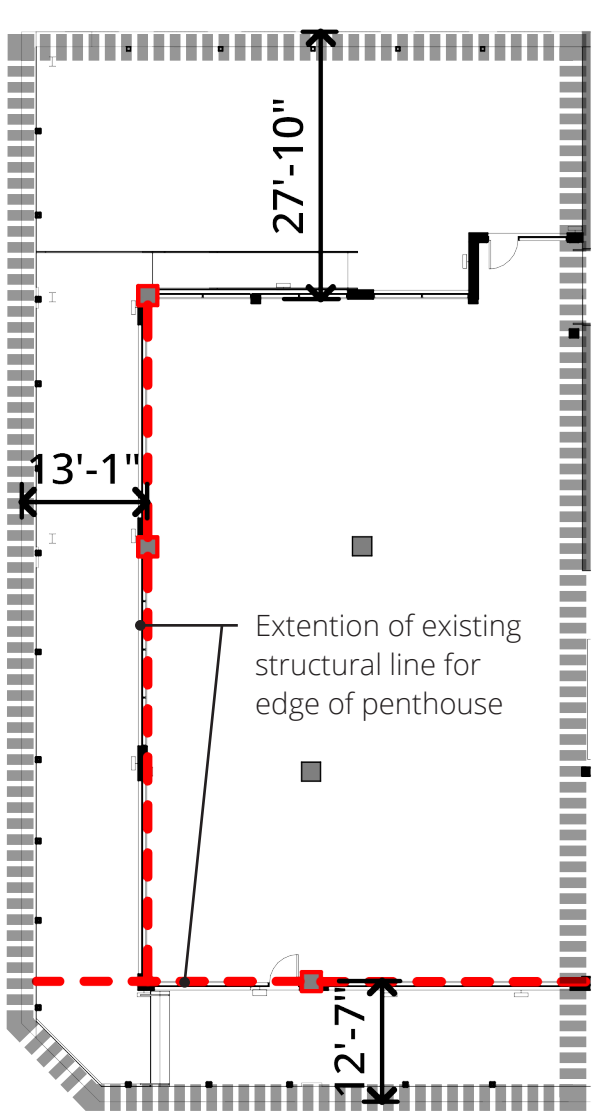
The final wall location is set by the locations of the existing columns and the placement of the wall to avoid the seismic cross bracing.

KEYNOTES

- A** Existing URM walls
- B** Existing column
- C** Existing column aligned to edge of penthouse

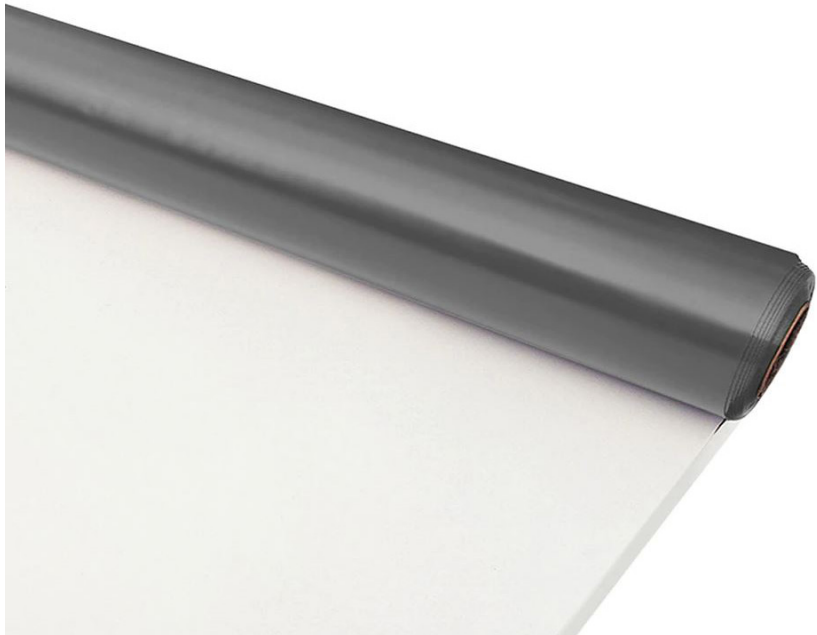


SECOND FLOOR - EXISTING STRUCTURE DIAGRAM



FOURTH FLOOR - PENTHOUSE STRUCTURE DIAGRAM

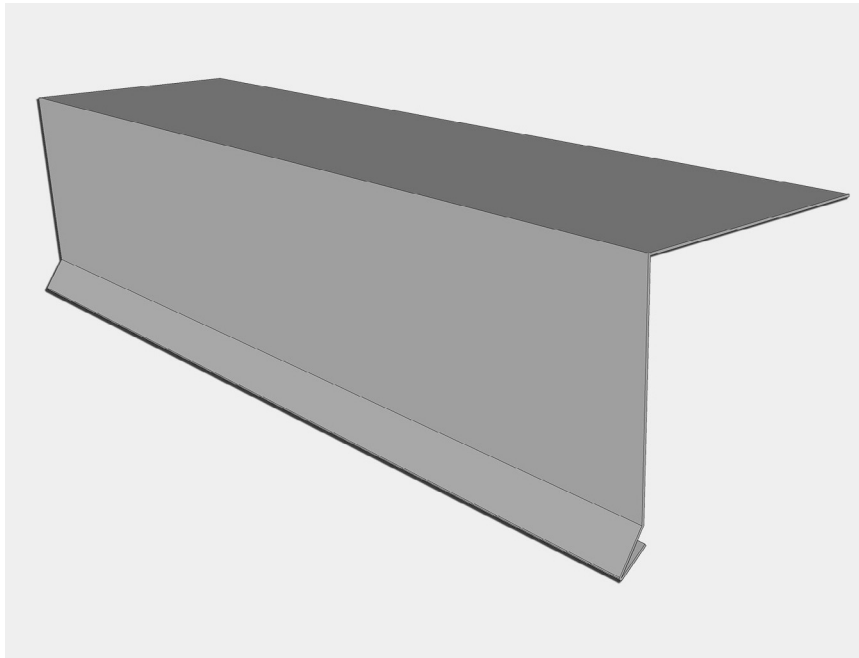
PARAPET AND ROOF MATERIALS



GAF Everguard TPO roofing in light gray color



AEP Span cap flashing to be similar to existing brick color



AEP Span drip edge in gunmetal gray finish



Concrete pedestal pavers at occupied roof decks. 36" tall continuous planters in lieu of guardrails

CITY LOAN CORNICE

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HISTORIC



EXISTING



PROPOSED

EXPLANATION

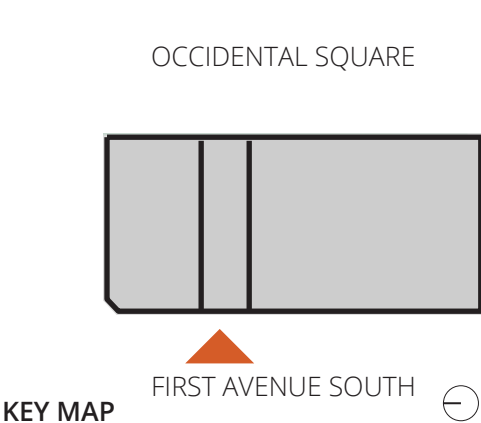
Historic photos show a clean even parapet prior to the 1949 earthquake when the parapet with cornice was lost. The proposed design raises up the parapet to approximately the height of the historic 1st Ave S parapet. A simplified cornice of metal is proposed similar to the 2002 cornice on the Buttnick Building. The proposal extends the metal of the cornice down to cover the exposed red brick at the top of the existing City Loan Building which was originally hidden by building signs and white face brick.

Replication of the dentils is not proposed. The proposed version is simplified similar to the Buttnick cornice.

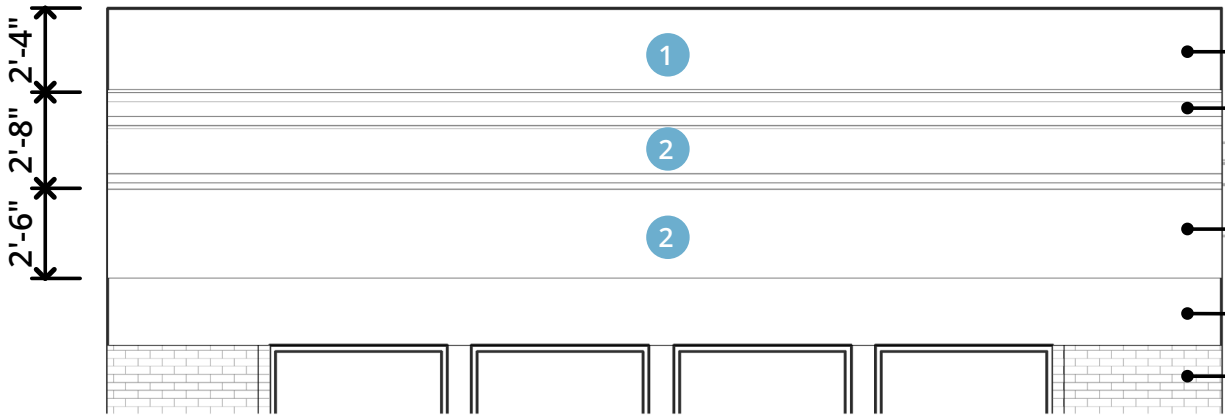
EXTERIOR MATERIALS



- 1 Old Town Grey (AEP Span)
- 2 Slate Grey (AEP Span)

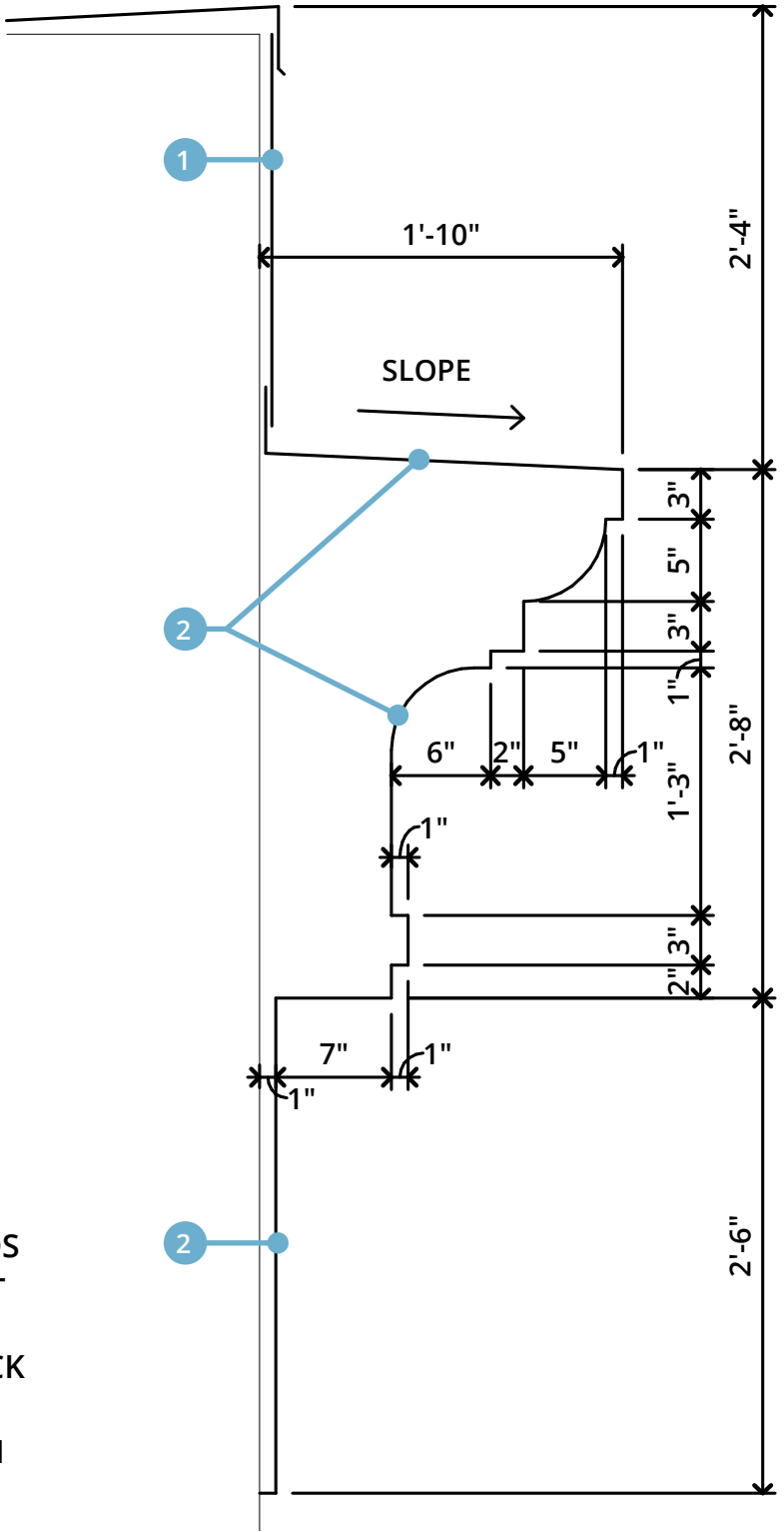


KEY MAP



CORNICE ELEVATION

- FLAT METAL TO CAP
- DECORATIVE CORNICE, ENDS DO NOT WRAP, FINISH FLAT
- FLAT METAL OVER RED BRICK
- EXISTING CONCRETE FINISH
- EXISTING WHITE BRICK

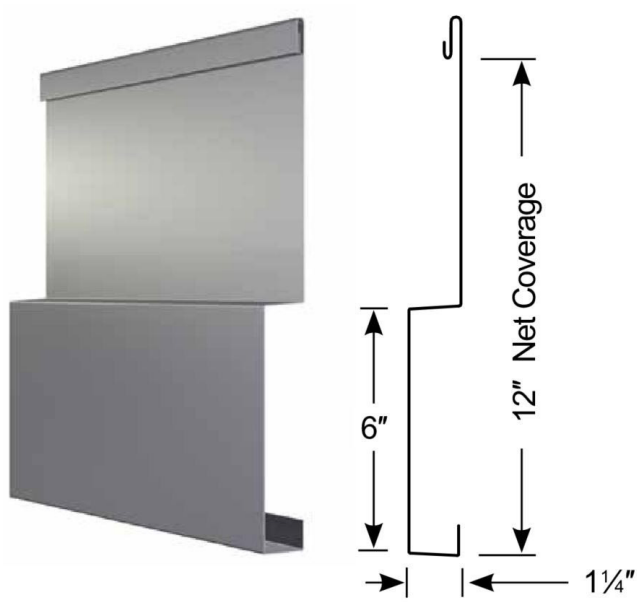
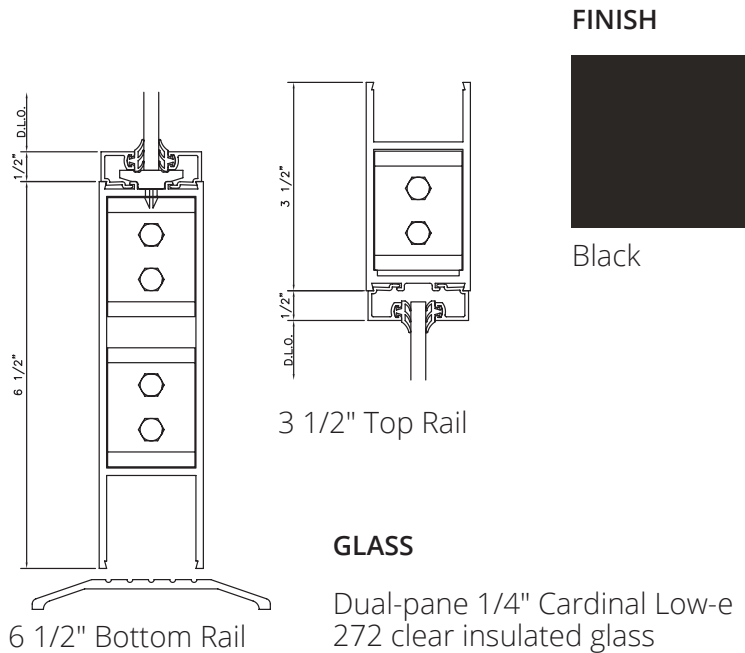


CORNICE SECTION

PENTHOUSE MATERIAL



EFCO SERIES D300 ENTERANCE DOORS



AEP Span Flex Series 1.2FX30-12



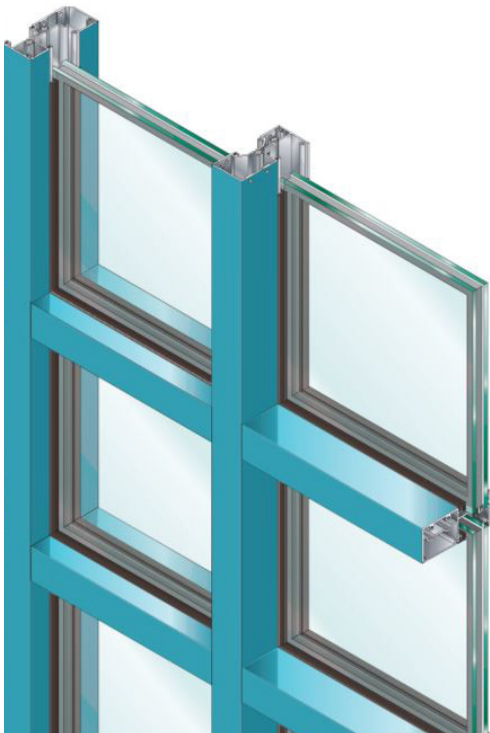
Timeless Bronze
(AEP Span Classic
Brushed Finish)



NEW STOREFRONT
DOOR PULLS TO BE
ASSA ABLOY
ROCKWOOD RM2230
BANDWIDTH FLAT
OFFSET



PULL FINISH TO BE
ANTIQUÉ BRASS
(BHMA 609 / US5)



**EFCO SERRIERS 433
STOREFRONT SYSTEM**

Standard features:

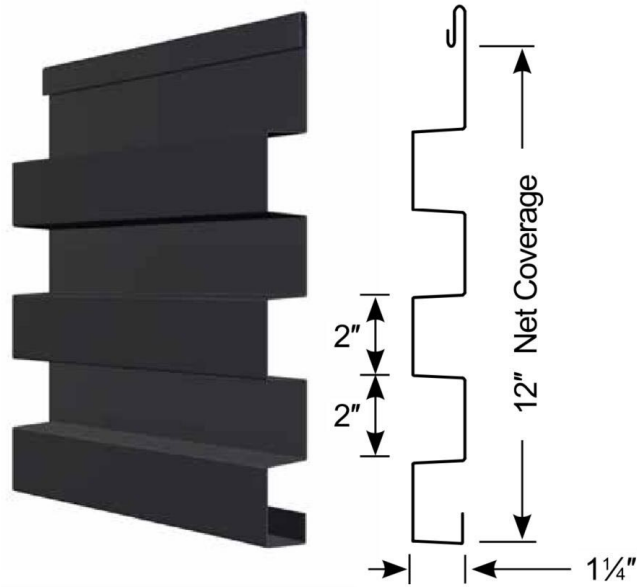
- 2" sightline
- 4 1/2" deep
- Thermally broken frames
- Front glazed configuration

FINISH

Black

GLASS

Dual-pane 1/4" Cardinal Low-e 272 clear insulated glass



AEP Span Flex Series 1.2FX10-12



Coal Black
(AEP Span Rawhide
Finish)

BUTTNICK PENTHOUSE - VIEW STUDY

"WHAT WE HEARD"

The Board would first have to determine if the penthouse is minimally visible from 300 feet. It appears visible in what is provided. (Staff Report 8/5/2020)

Photos are from the penthouse mockup performed in March 2021. The penthouse height and footprint shown are a reduction compared to the previous Board Briefing.



BUTTNICK ARIEL VIEW

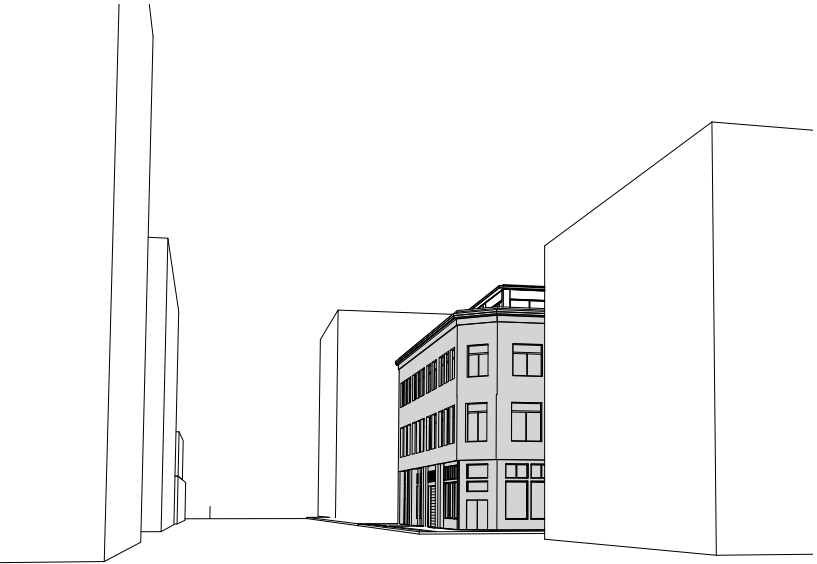
KEY: --- 300 ft from Building



1 S WASHINGTON ST - PENTHOUSE VISIBLE 300 FEET



2 CROSS CORNER OF 1ST AVE S + S WASHINGTON ST - PENTHOUSE VISIBLE



1 S WASHINGTON ST - RENDERING 300 FEET



2 CROSS CORNER OF 1ST AVE S + S WASHINGTON ST - RENDERING

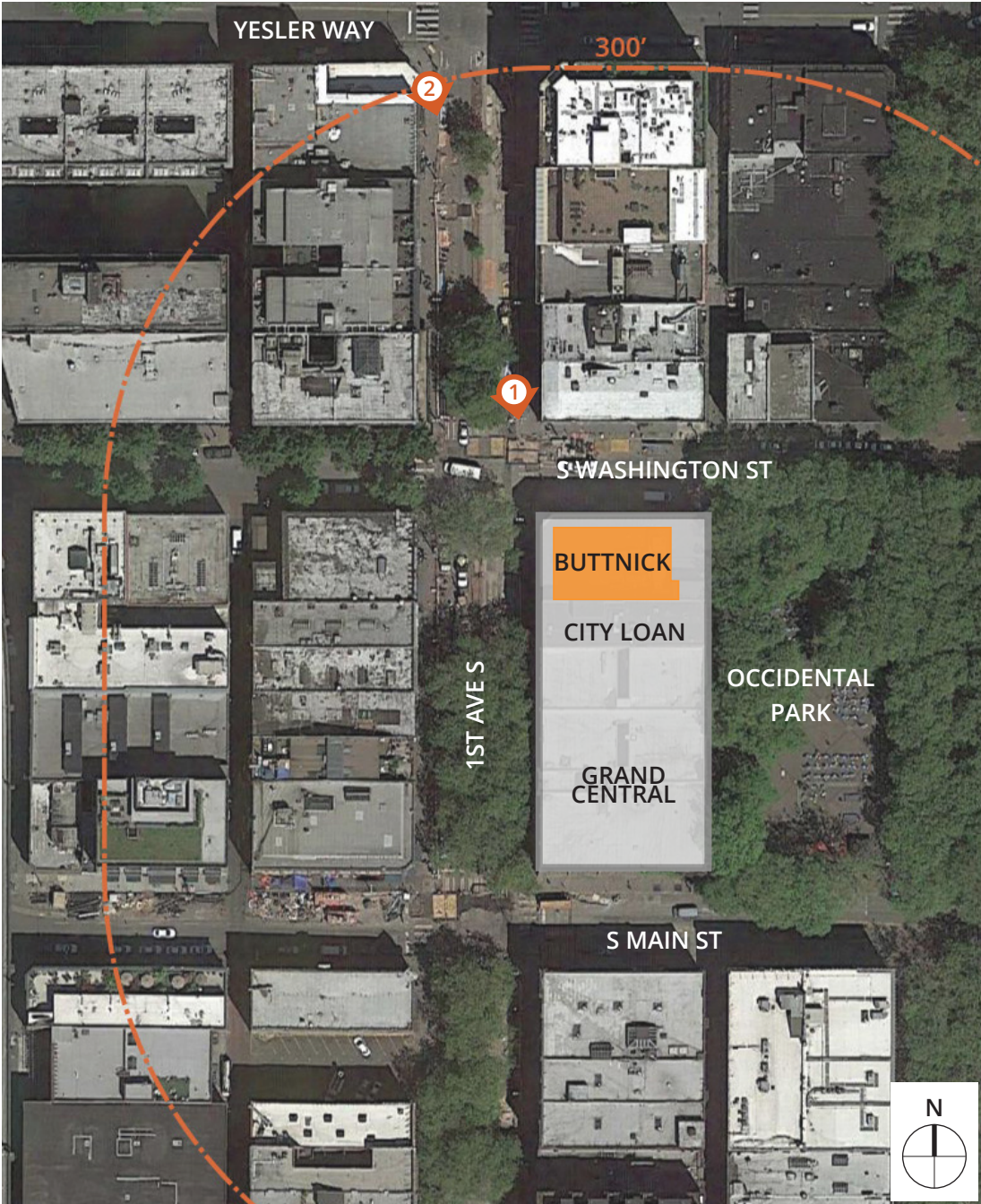
Non-Penthouse Area

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BUTTNICK ARIEL VIEW

KEY: — 300 ft from Building



1 CORNER OF 1ST AVE S + S WASHINGTON ST - PENTHOUSE VISIBLE



2 CROSS CORNER OF 1ST AVE S + YESLER WAY - PENTHOUSE VISIBLE 300 FEET

COA PROPOSAL - CORRECTIONS



1 CORNER OF 1ST AVE S + S WASHINGTON ST - RENDERING



2 CROSS CORNER OF 1ST AVE S + YESLER WAY - RENDERING 300 FEET

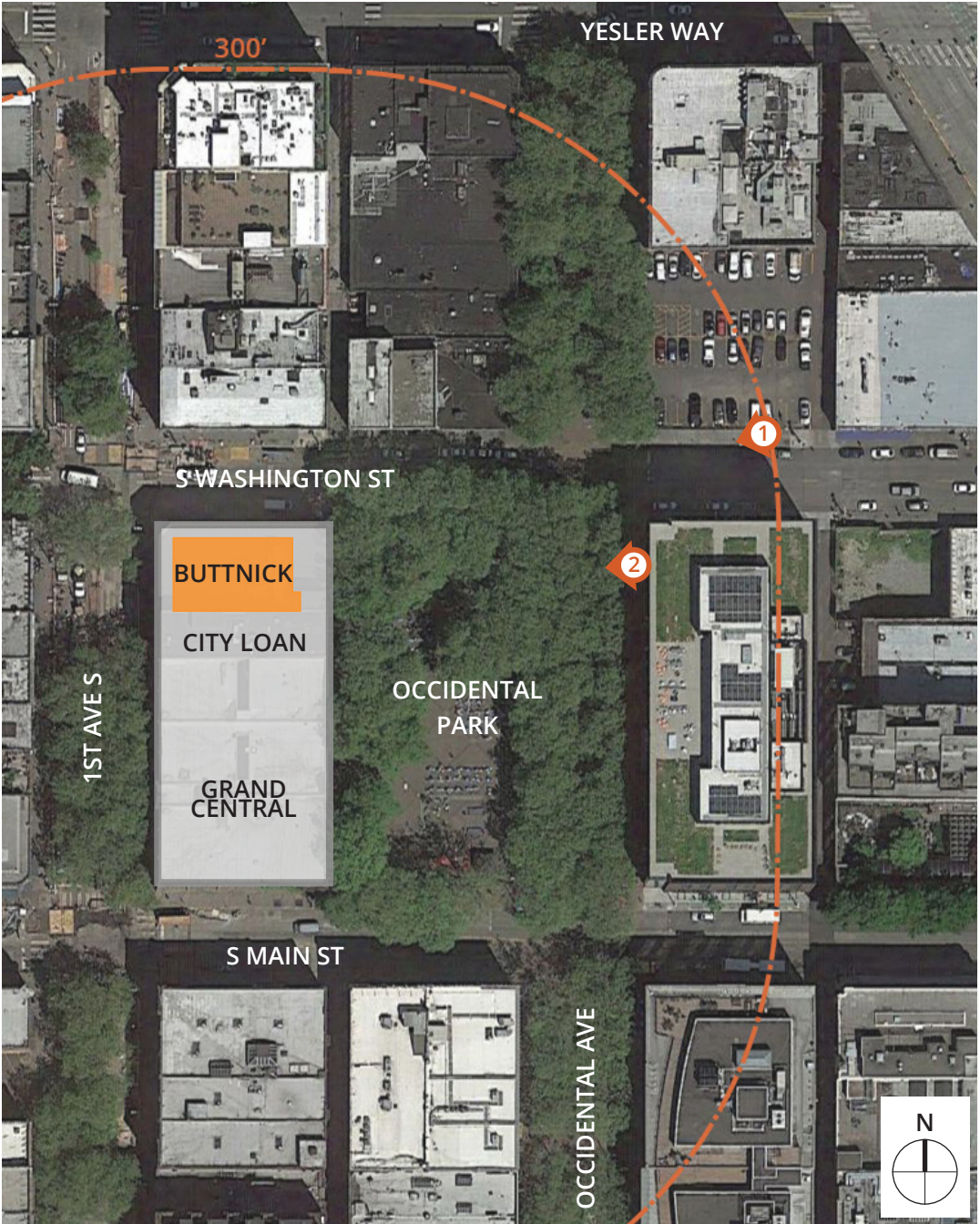
Non-Penthouse Area

BUTTNICK PENTHOUSE - VIEW STUDY

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GRAND CENTRAL ARIEL VIEW

KEY: - - - 300 ft from Building



1 OCCIDENTAL PARK - PENTHOUSE VISIBLE - 300 FEET



2 OCCIDENTAL PARK - PENTHOUSE VISIBLE

COA PROPOSAL - CORRECTIONS



1 OCCIDENTAL PARK - RENDERING 300 FEET



2 OCCIDENTAL PARK - UPDATED RENDERING

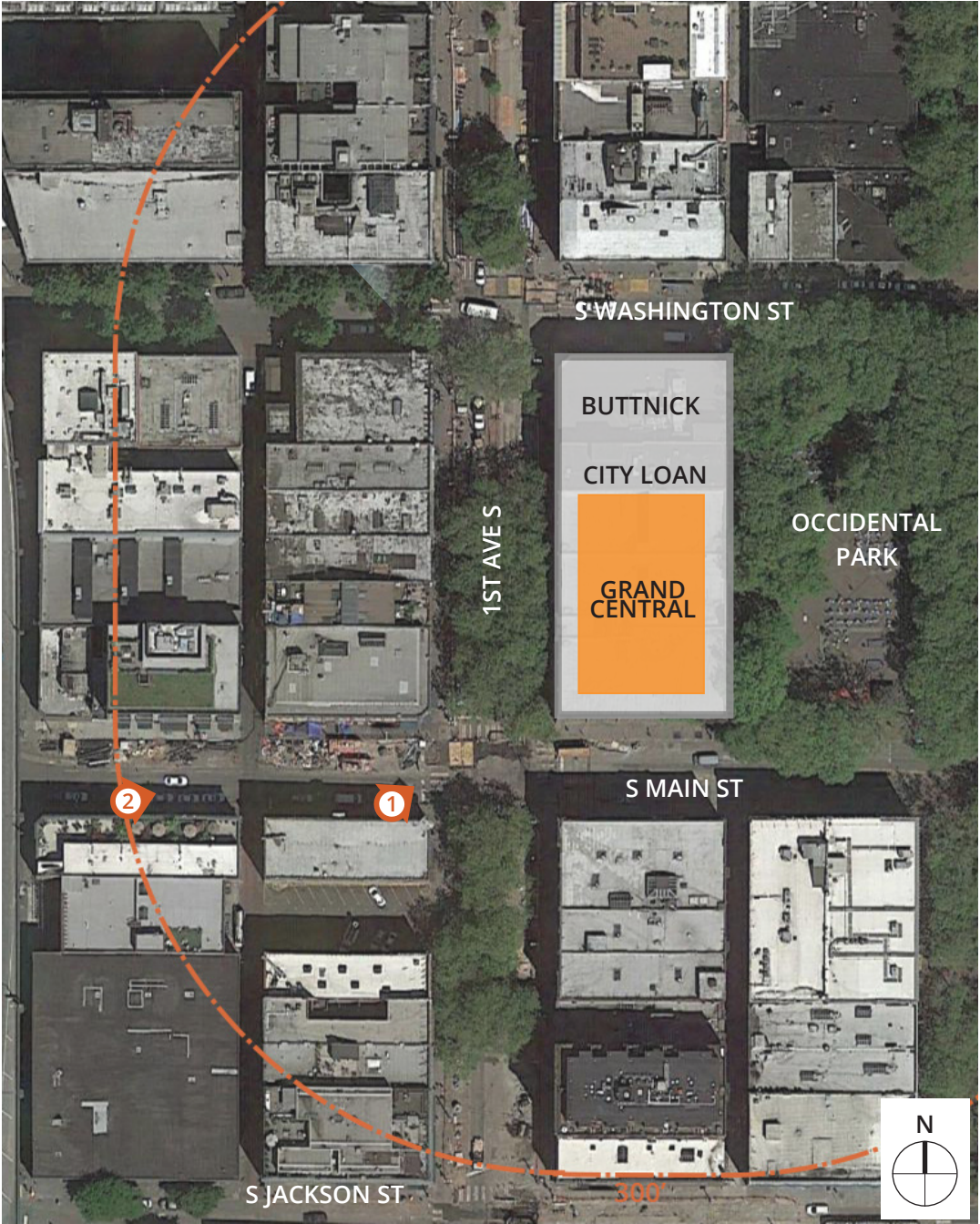
Non-Penthouse Area

GRAND CENTRAL PENTHOUSE - VIEW STUDY

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GRAND CENTRAL ARIEL VIEW

KEY: --- 300 ft from Building



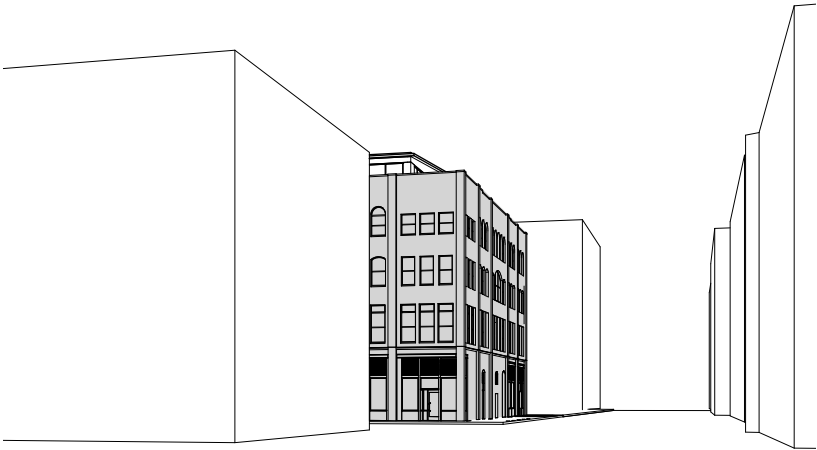
1 S MAIN ST - PENTHOUSE VISIBLE



2 S MAIN ST - PENTHOUSE VISIBLE - 300 FEET



1 S MAIN ST - RENDERING



2 S MAIN ST - RENDERING 300 FEET

GRAND CENTRAL PENTHOUSE - VIEW STUDY

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GRAND CENTRAL ARIEL VIEW

KEY: - - - 300 ft from Building



1 1ST AVE S - PENTHOUSE VISIBLE



2 1ST AVE S - PENTHOUSE VISIBLE - 300 FEET



1 1ST AVE S - RENDERING



2 1ST AVE S - RENDERING 300 FEET

GRAND CENTRAL PENTHOUSE - VIEW STUDY

"WHAT WE HEARD"

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GRAND CENTRAL ARIEL VIEW

KEY: - - - 300 ft from Building



1 S MAIN ST - PENTHOUSE VISIBLE - 300 FEET



1 S MAIN ST - RENDERING 300 FEET



1 OCCIDENTAL PARK - PENTHOUSE VISIBLE



1 OCCIDENTAL PARK

EXISTING EXTERIOR ELEVATION

West Elevation - Exterior View From First Avenue South

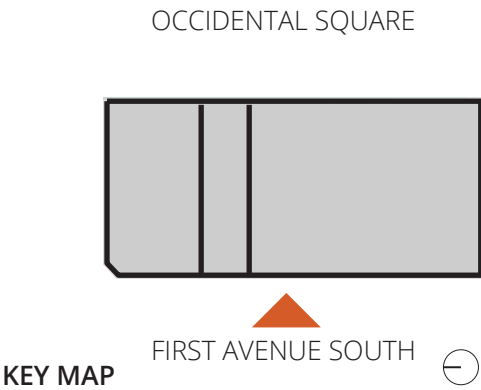


KEYNOTES

- A** Remove mechanical equipment (See photo)
- B** Protect existing storefront typ. at Buttnick
- C** Remove existing storefront. Protect existing cast iron columns, typ. at all openings
- D** Protect existing doors / frames / fan window

GENERAL NOTE

A full survey of the extent of brick repair cannot be completed until all ivy is removed from the building. Salvaged brick from the building will be used when individual bricks need replacement if the salvaged brick is a good match. Brick color varies for each building and for different elevations. If appropriate salvage brick is not available a new brick in the appropriate color and finish will be used and cut to fit the repair location.

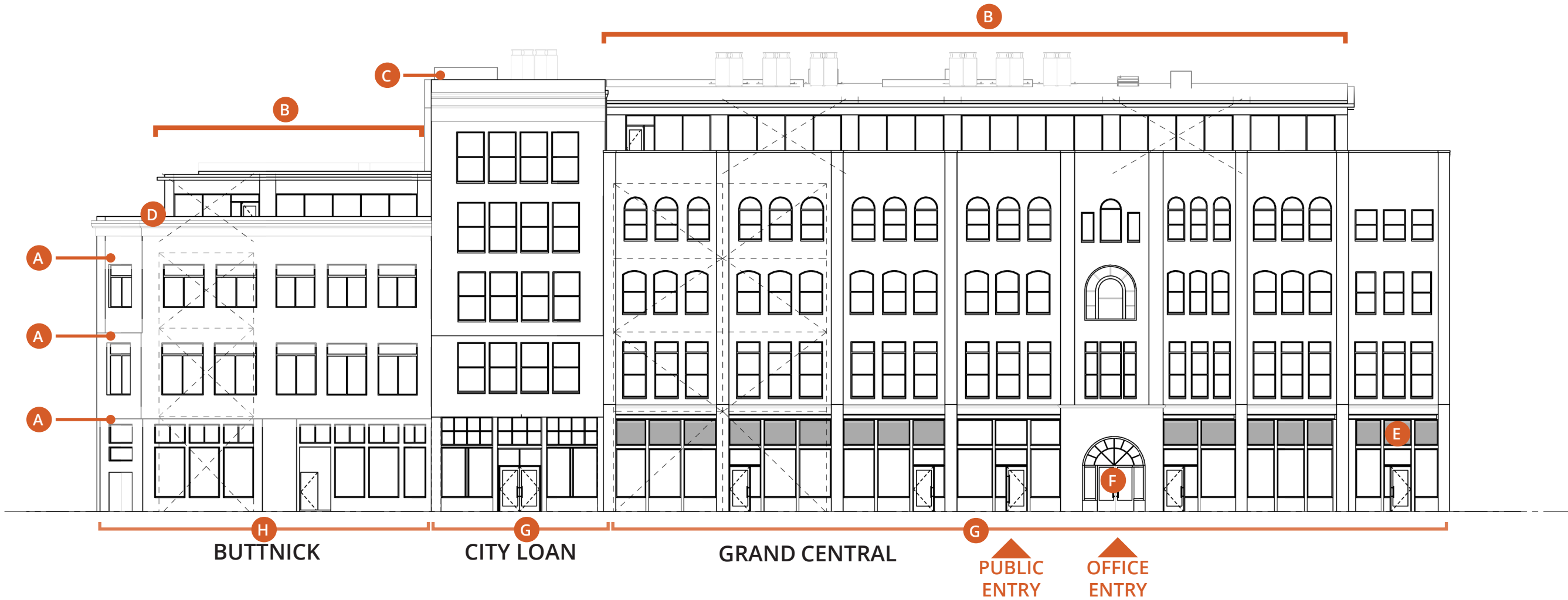


Existing mechanical equipment shown next to flags identifying height at boundary of proposed new Buttnick penthouse



PROPOSED EXTERIOR ELEVATION

West Elevation - Exterior View From First Avenue South



KEYNOTES

OCCIDENTAL SQUARE



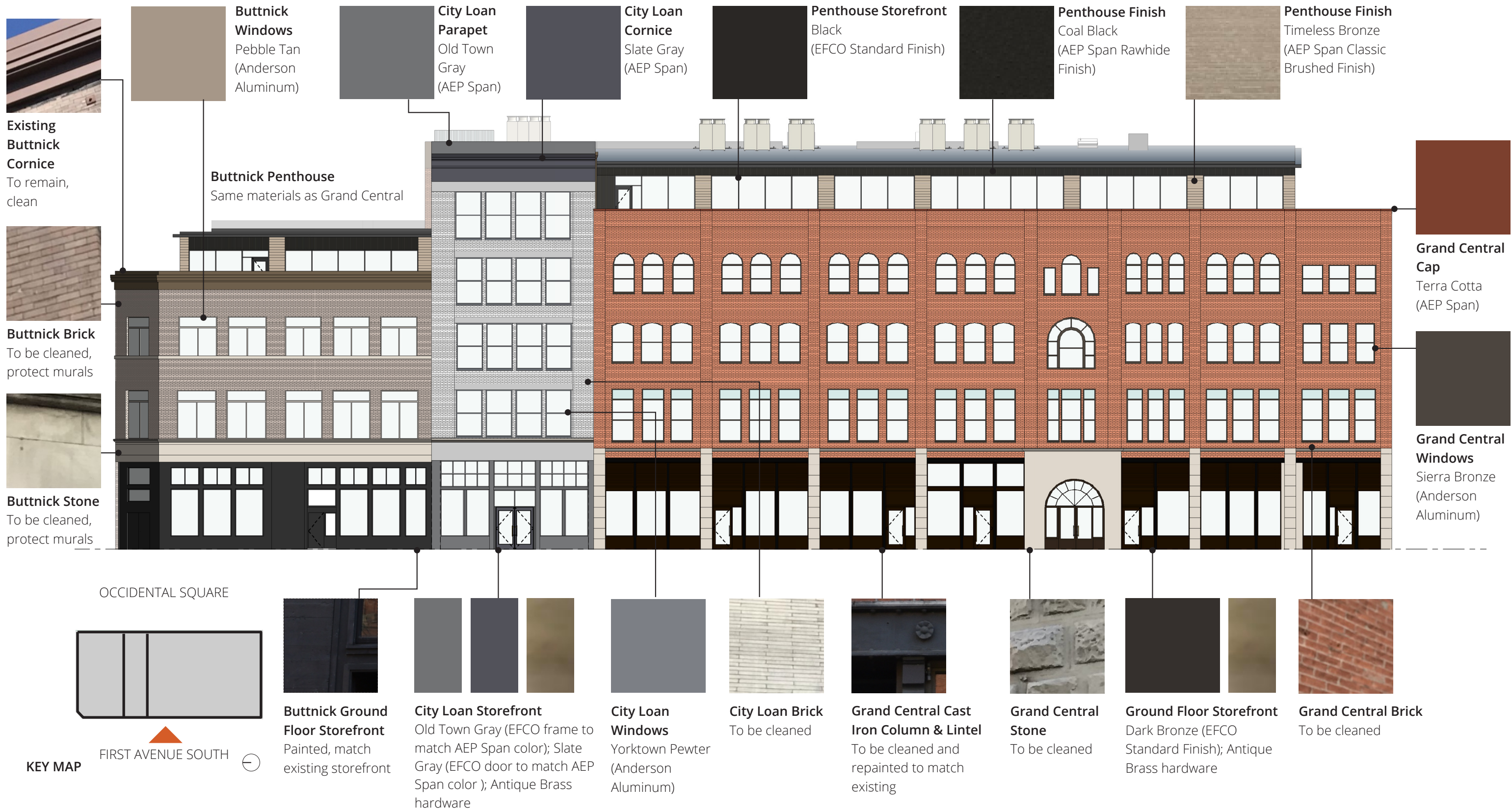
KEY MAP

FIRST AVENUE SOUTH

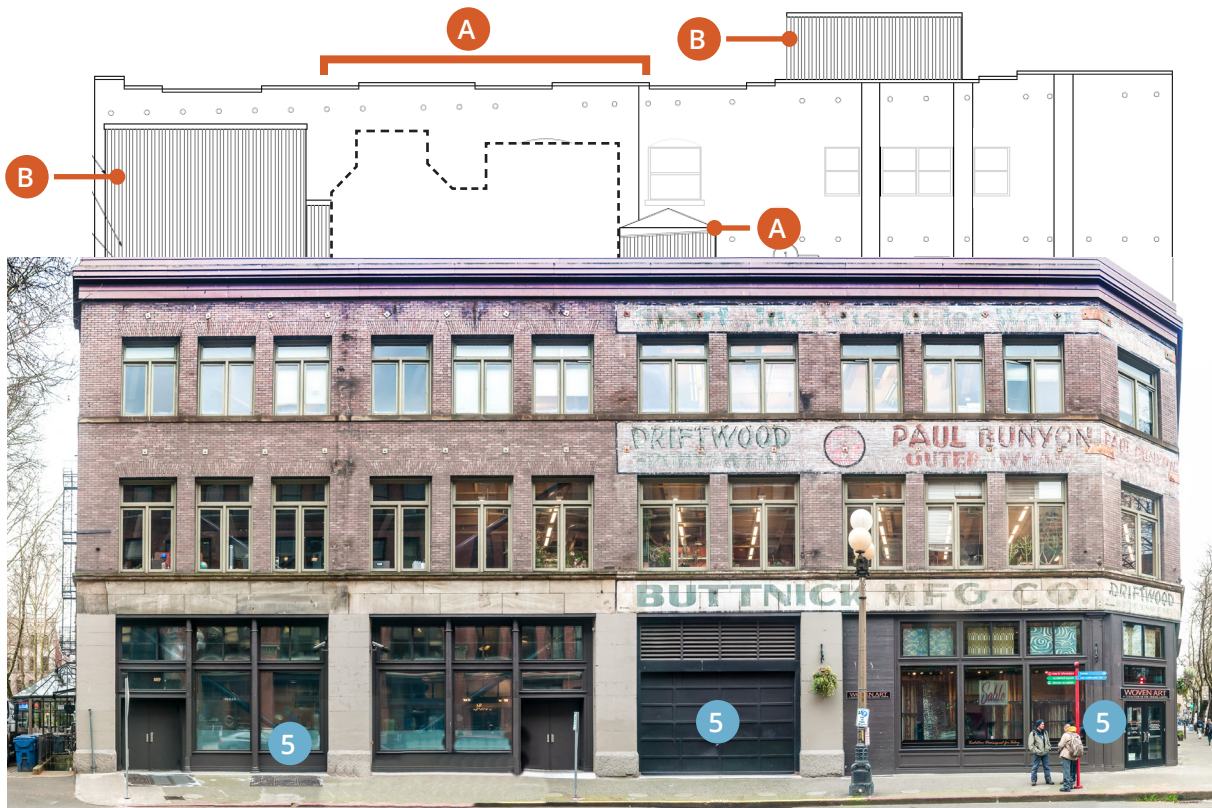


- A** Protect painted advertisements
- B** New office penthouse
- C** New elevator overrun
- D** Planters at new roof deck
- E** New louvers typ.
- F** Restore existing door, frames, fan window
- G** New store front
- H** Refurbish existing storefront

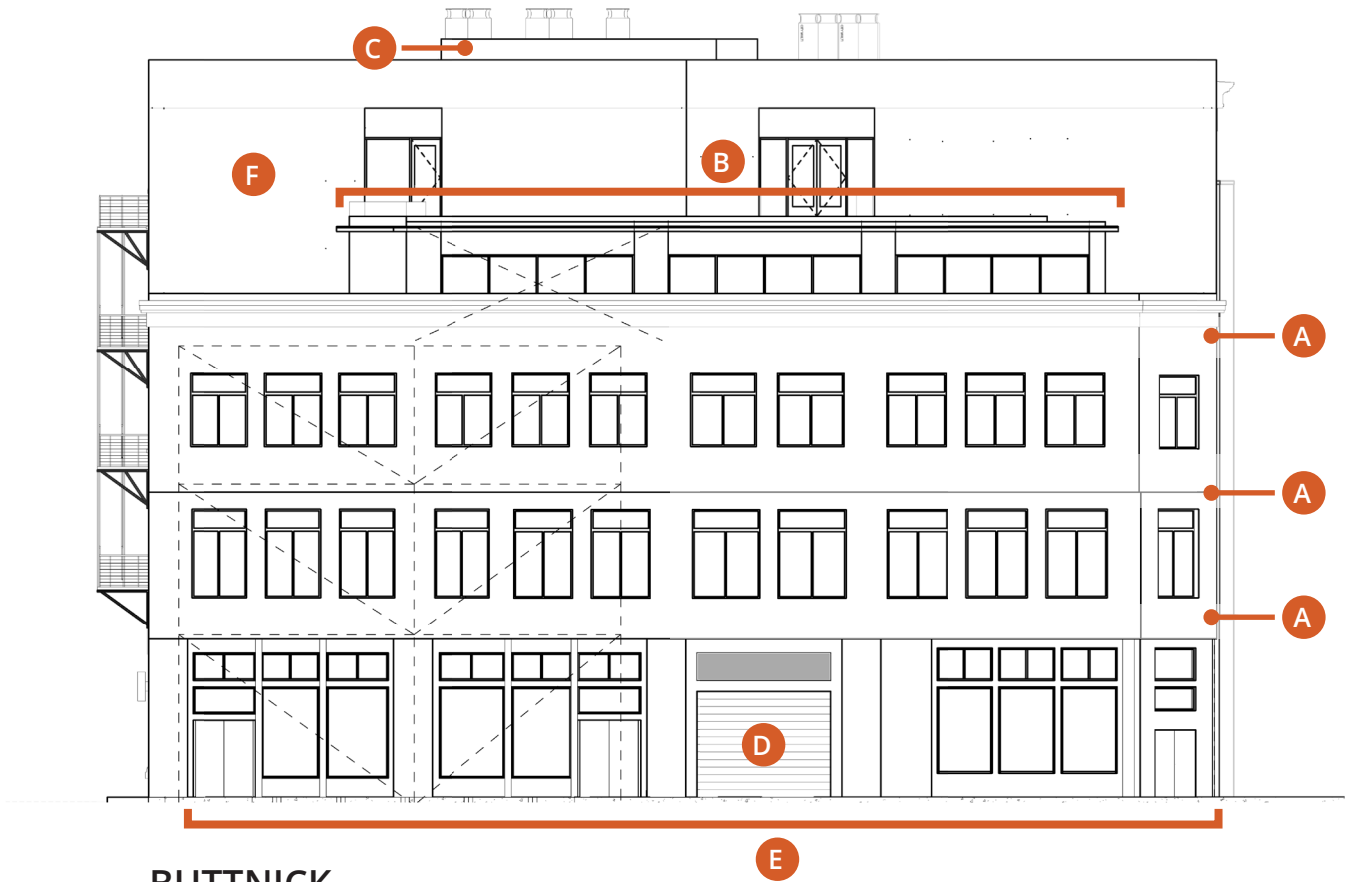
PROPOSED EXTERIOR ELEVATION - MATERIALS



EXISTING AND PROPOSED EXTERIOR ELEVATIONS



BUTTNICK



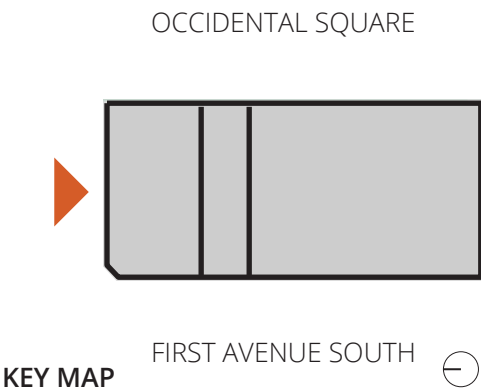
BUTTNICK

KEYNOTES - EXISTING

- A** Remove mechanical equipment
- B** Remove stair enclosure

KEYNOTES - PROPOSED

- A** Protect painted advertisements
- B** New office penthouse
- C** New elevator overrun
- D** Refurbish existing roll up door
- E** Refurbish existing storefront
- F** City loan beyond



KEY MAP

PROPOSED EXTERIOR ELEVATION - MATERIALS



CLARK
BARNES

A photograph of a row of historic brick buildings in New York City, labeled with letters A through E. The buildings are identified as Grand Central, City Loan, and Buttnick. The leftmost building is covered in ivy and has a large arched entrance. The middle building is a red brick structure with a fire escape. The rightmost building is a red brick structure with a flat roof. A small inset image shows a view from the roof of the rightmost building, looking towards the left. A scale bar at the bottom indicates the distance between the buildings.



PROPOSED EXTERIOR ELEVATION

East Elevation - Exterior View From Occidental Square



KEYNOTES

- A** New office penthouse
- B** New elevator overrun
- C** Planters at new roof deck
- D** Vault vent louver
- E** Protect historic mural

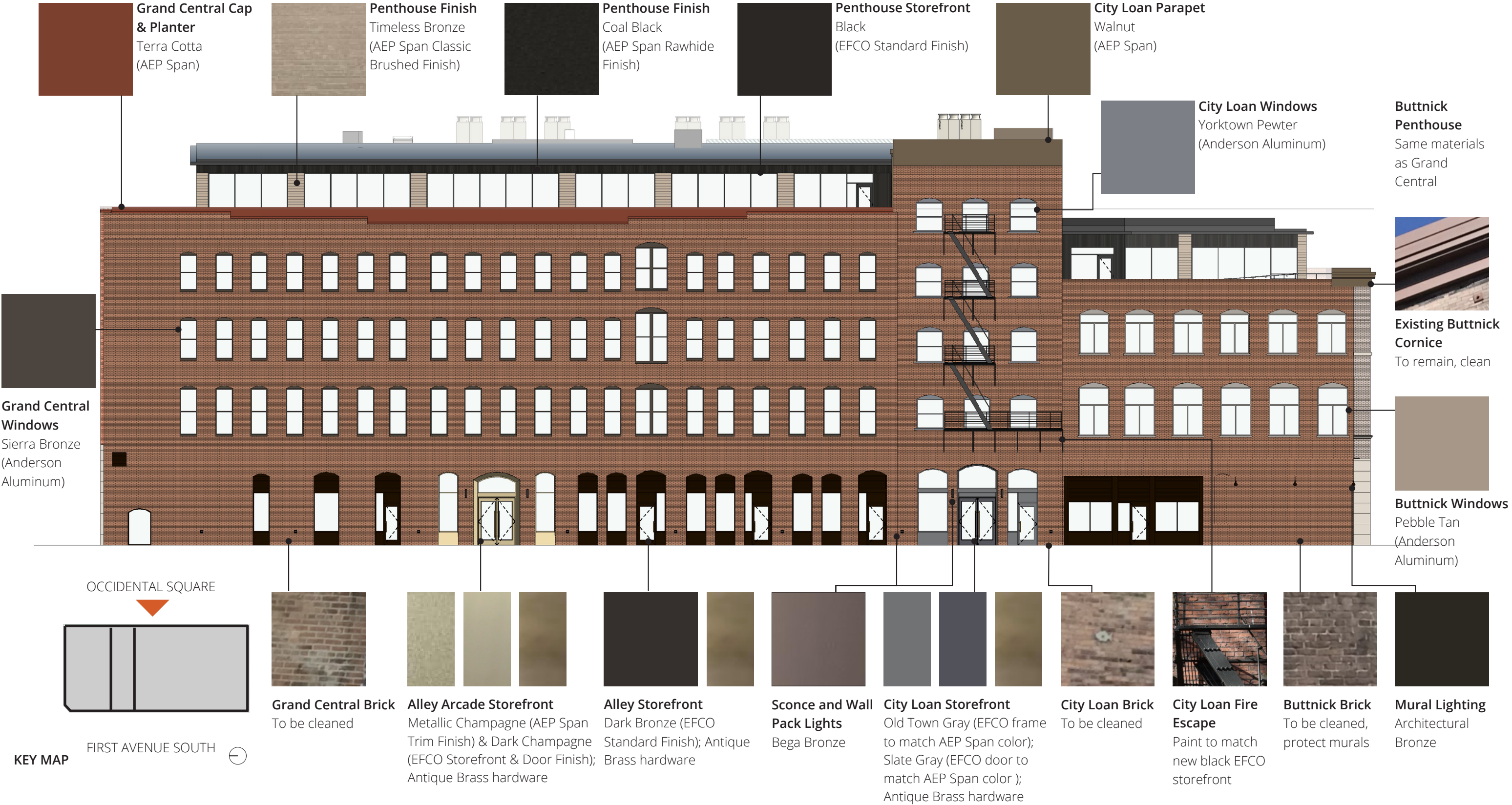
KEY MAP

OCCIDENTAL SQUARE

FIRST AVENUE SOUTH

The key map shows a simplified layout of the building and its surroundings. Occidental Square is indicated by an orange triangle pointing towards the building. First Avenue South is shown as a horizontal line below the building. The building itself is represented by a gray rectangle with internal divisions.

PROPOSED EXTERIOR ELEVATION - MATERIALS



EXISTING AND PROPOSED EXTERIOR ELEVATIONS

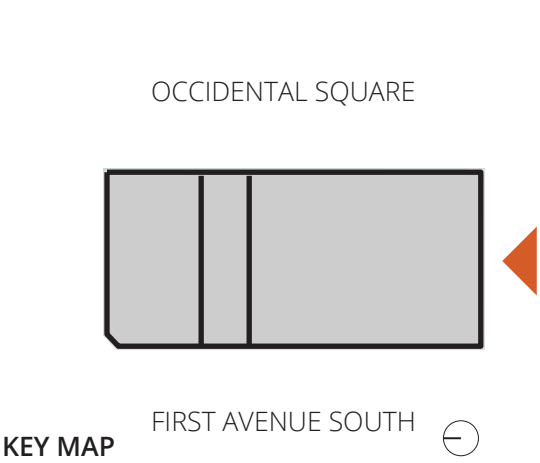
South Elevation - Exterior View From S Main St



GRAND CENTRAL



GRAND CENTRAL



KEYNOTES - EXISTING

- A Remove Ivy and repair brick underneath

GENERAL NOTE

A full survey of the extent of brick repair cannot be completed until all ivy is removed from the building. Salvaged brick from the building will be used when individual bricks need replacement if the salvaged brick is a good match. Brick color varies for each building and for different elevations. If appropriate salvage brick is not available a new brick in the appropriate color and finish will be used and cut to fit the repair location.

KEYNOTES - PROPOSED

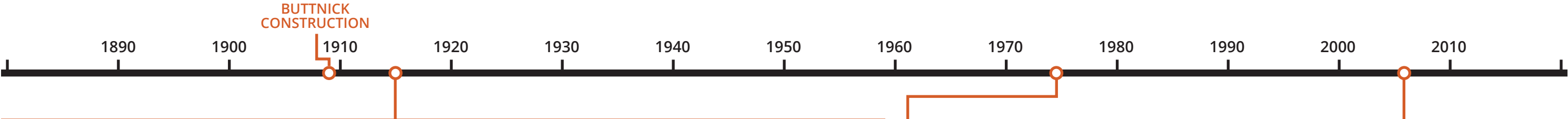
- A New office penthouse
- B New storefront
- C Louvers typical

PROPOSED EXTERIOR ELEVATION - MATERIALS



BUTTNICK STOREFRONT - NOT ORIGINAL

CLARK
BARNES



1915 First photo of Buttnick storefront. Assumed close to original condition.

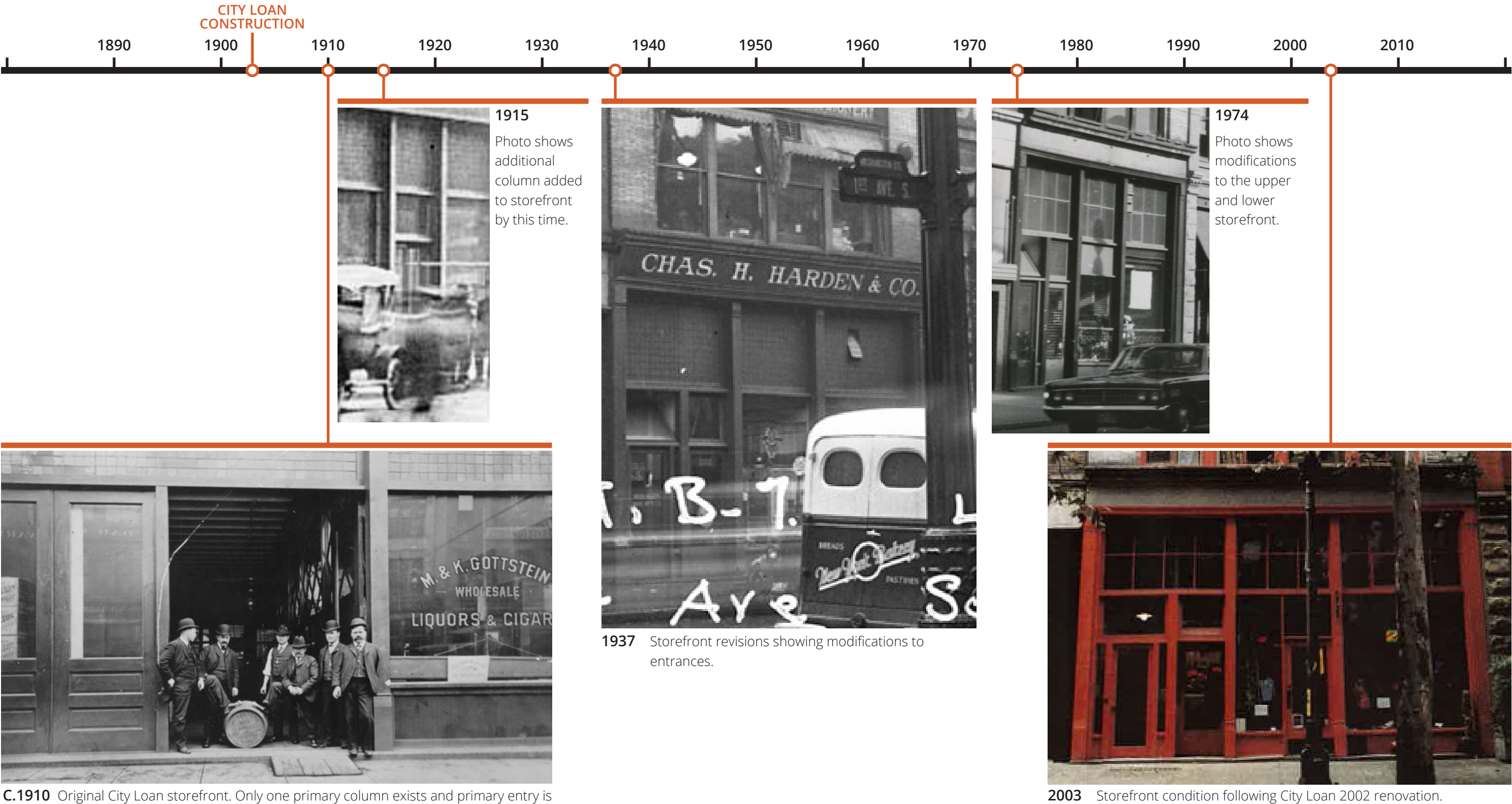


2003 Shows storefront reconstructed to better approximate the original condition as part of the 2002 renovation project.

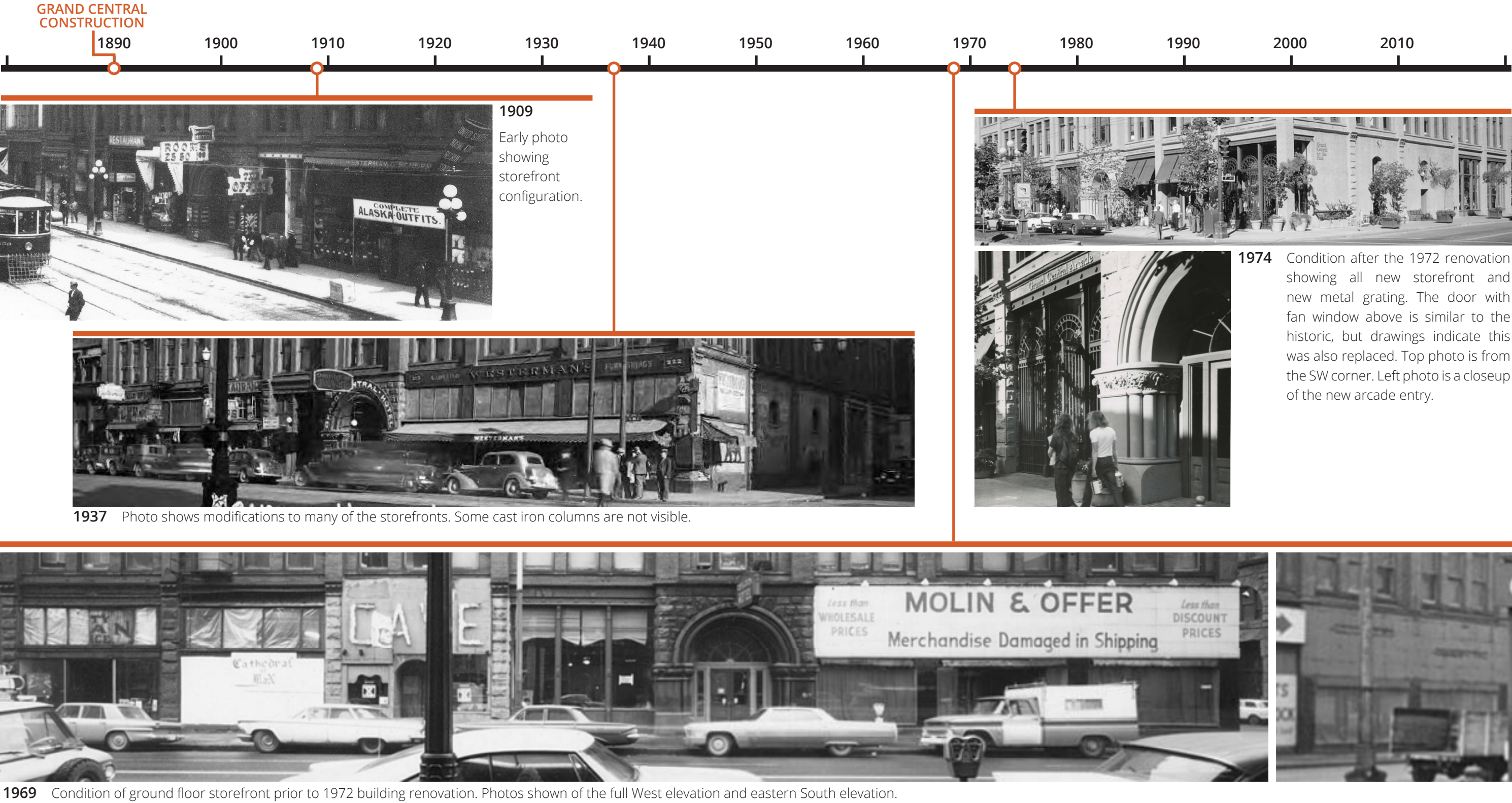


1974 Show the storefront rebuilt in a modern design following the 1950 gas explosion. No original storefront exists for the building.

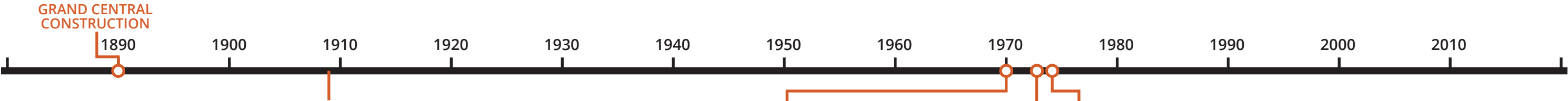
CITY LOAN STOREFRONT - NOT ORIGINAL



GRAND CENTRAL STOREFRONT - NOT ORIGINAL



GRAND CENTRAL STOREFRONT - NOT ORIGINAL



1970 Alley condition prior to 1972 building renovation.



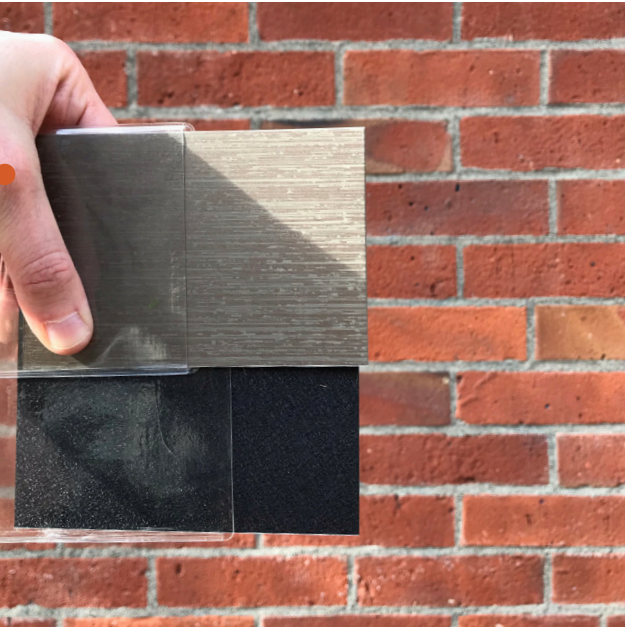
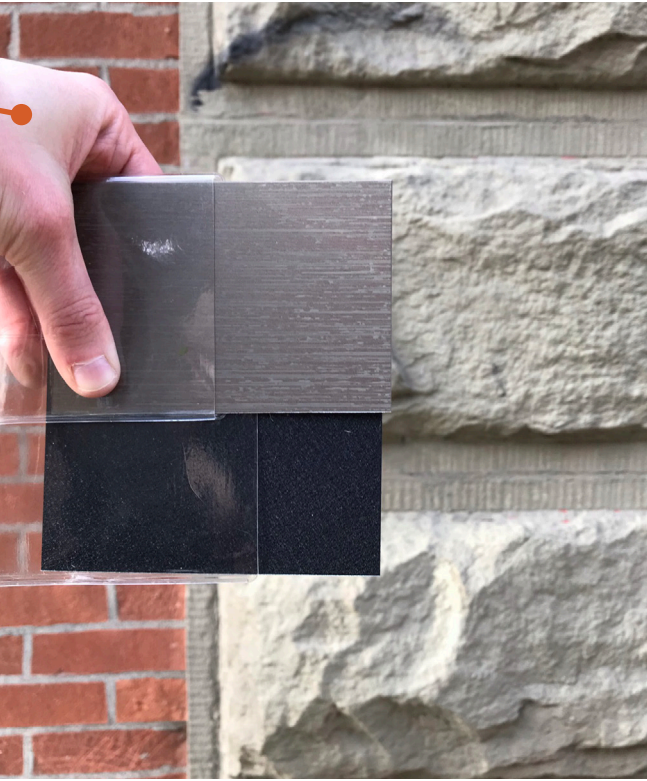
1974 Closeup of new alley storefront added during 1972 building renovation.



1973 New alley storefront added during 1972 building renovation.

PROPOSED EXTERIOR FINISH MATERIALS

Southwest Corner



OCCIDENTAL SQUARE



KEY MAP

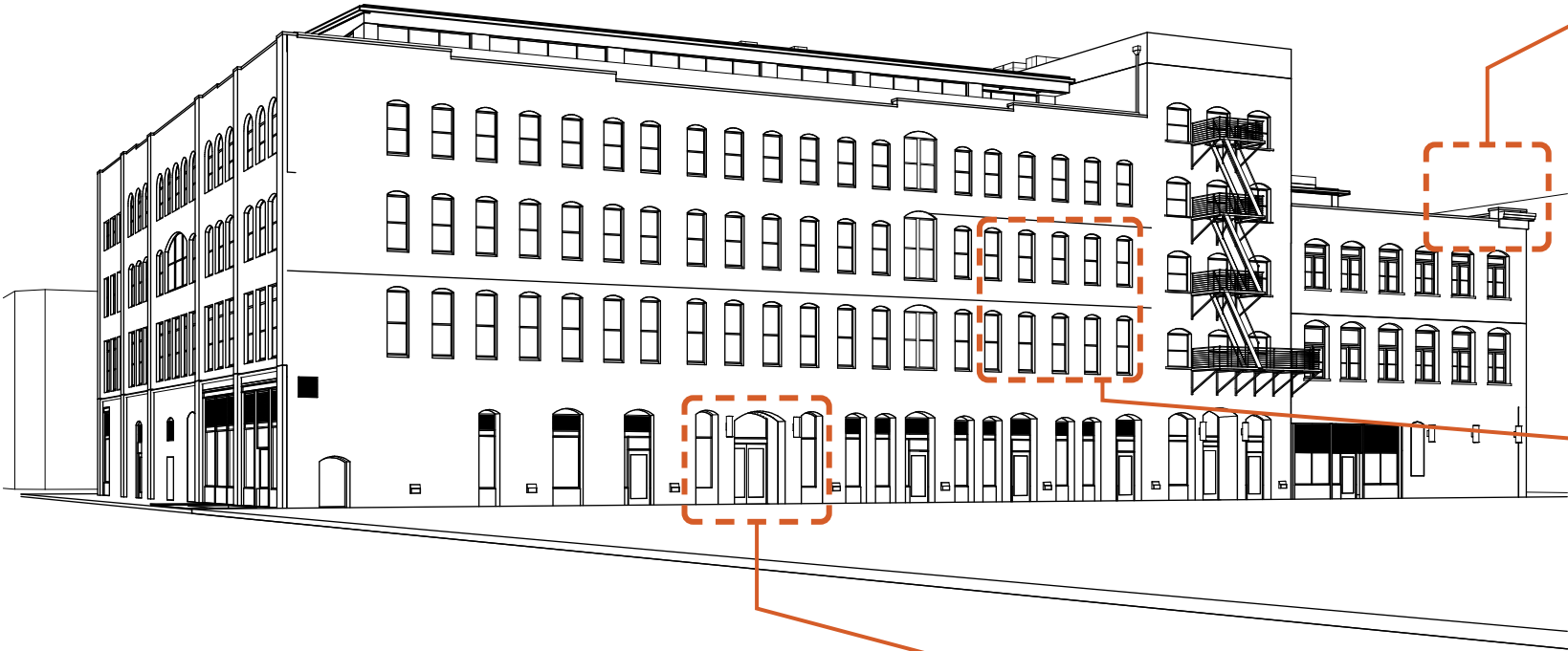
FIRST AVENUE SOUTH



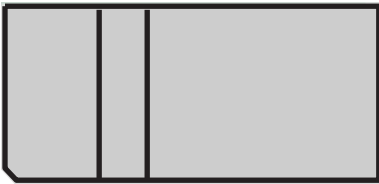
PROPOSED EXTERIOR FINISH MATERIALS

CLARK
BARNES

East Elevation



OCCIDENTAL SQUARE



KEY MAP

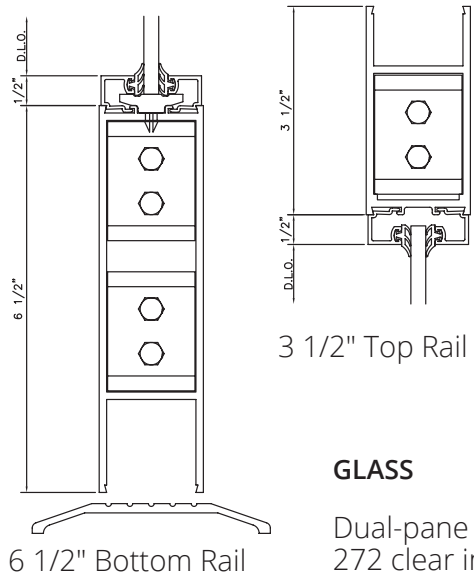
FIRST AVENUE SOUTH



PROPOSED GROUND FLOOR STOREFRONT ELEMENTS



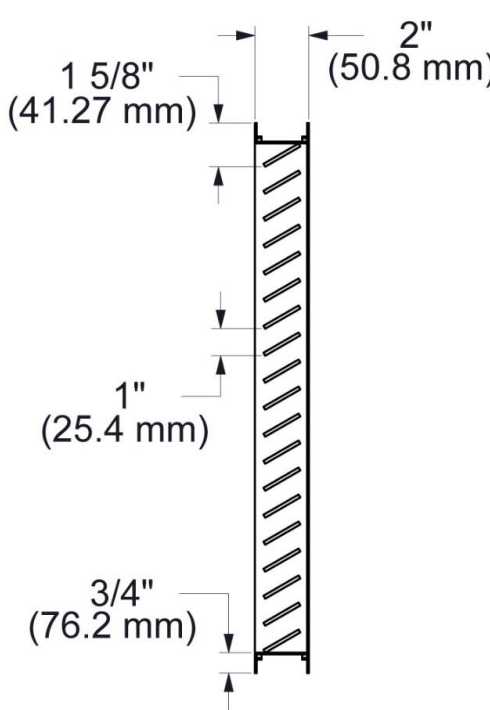
EFCO SERIES D300 ENTERANCE DOORS



FINISH

Dark Bronze

Champagne

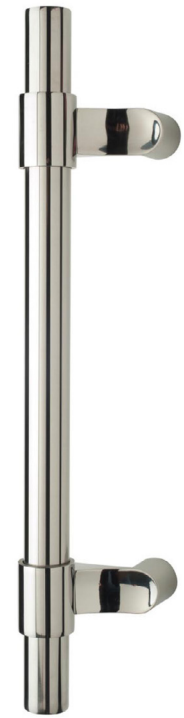


INDUSTRIAL LOUVERS, INC.
MODEL 150 THIN LINE
STOREFRONT LOUVER

- Standard features:
- Extruded aluminum
 - 2" deep
 - 2" blades
 - 1" blade spacing

FINISH

Dark bronze to match
EFCO storefront



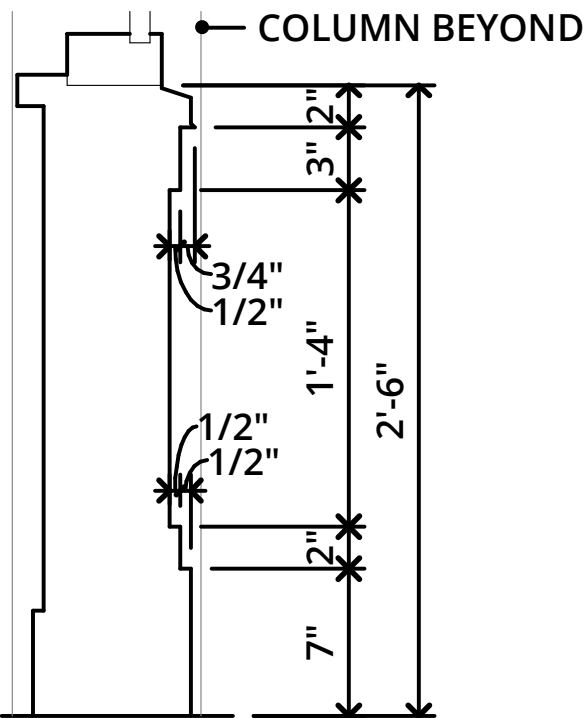
NEW STOREFRONT
DOOR PULLS TO BE
ASSA ABLOY
ROCKWOOD RM2230
BANDWIDTH FLAT
OFFSET



PULL FINISH TO BE
ANTIQUÉ BRASS
(BHMA 609 / US5)



EXISTING PONY WALL



PROPOSED PONY WALL SECTION



EFCO SERRIERS 433
STOREFRONT SYSTEM

- Standard features:
- 2" sightline
 - 4 1/2" deep
 - Thermally broken frames
 - Front glazed configuration

FINISH

Dark Bronze

Champagne

GLASS

Dual-pane 1/4" Cardinal Low-e
272 clear insulated glass

PROPOSED EXTERIOR LIGHTING



FIXTURE TYPE L2



FIXTURE TYPE S1



FIXTURE TYPE S2

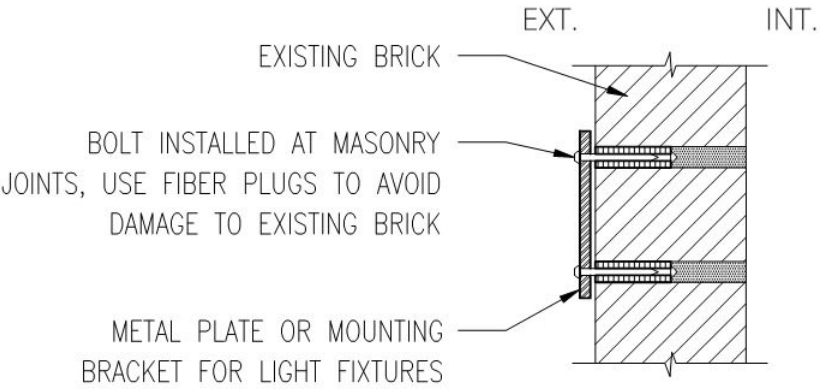


FIXTURE TYPE S3



FIXTURE TYPE S4

EXTERIOR LIGHTING MOUNTING DETAIL



EXTERIOR LIGHTING SCHEDULE

TYPE	LOCATION	DESCRIPTION	MANUFACTOR & MODEL	BRONZE
L2	DOOR ALCOVES	RECESSED CEILING DOWNLIGHT	BEGA - 24826	BRONZE
S1	WALL MOUNT AT PRIMARY DOORS	WALL SCENCE	BEGA - 66519	BRONZE
S2	WALL MOUNT AT MURALS	ANGLE SHADE GOOSENECK	TMS LIGHTING - SIGN 21 SERIES	ARCHITECTURAL BRONZE
S3	GROUND FLOOR WALKING SURFACE	WALL PACK	BEGA - 22175	BRONZE
S4	PENTHOUSE RECESSED	WALL PACK	BEGA - 33067	BLACK



Black



Bronze



Architectural Bronze

PROPOSED EXTERIOR LIGHTING - RENDERINGS

LIGHTING LOCATIONS

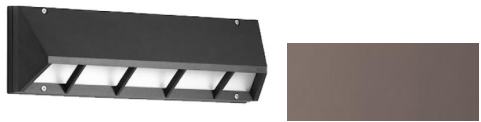
- Exterior lighting for the building is located on the East facade and at the penthouses.
- Penthouse lighting is located low on the wall and completely obscured by the parapets when viewed from the ground level.
- Up-down lights are located at the primary entries only as shown in the rendering. Pathway washing fixtures are located at the ground floor along the alley for safety and security as shown in the rendering.
- The gooseneck fixtures are at the north end of the alley to light the ghost sign.



FIXTURE TYPE S4 (BEGA BLACK) @ PENTHOUSES



EAST ELEVATION LIGHTING RENDERING



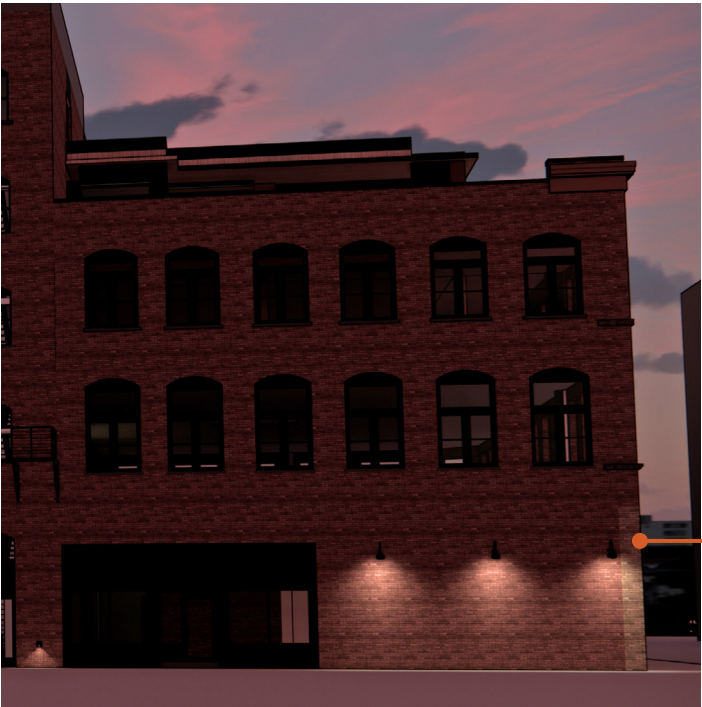
FIXTURE TYPE S3 (BRONZE) @ ALLEY SURFACE



FIXTURE TYPE S1 (BRONZE) @ ALLEY ENTRIES



SOUTHWEST ELEVATION LIGHTING RENDERING - PENTHOUSE EXTERIOR FIXTURES NOT VISIBLE



EAST ELEVATION AT BUTTNICK LIGHTING RENDERING

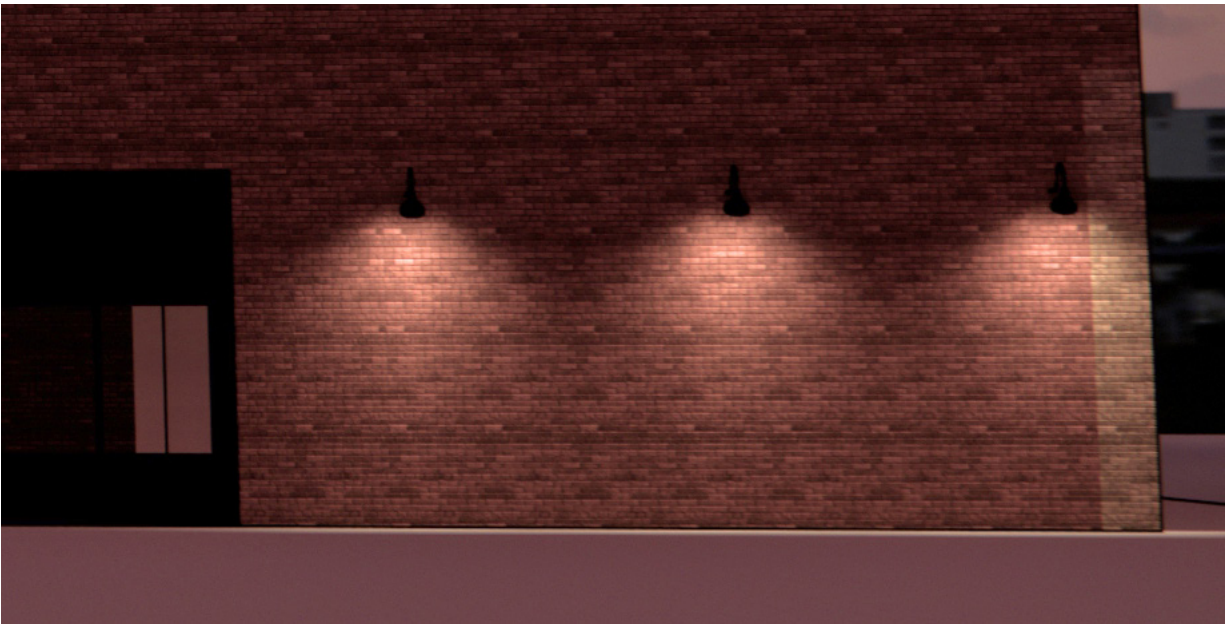
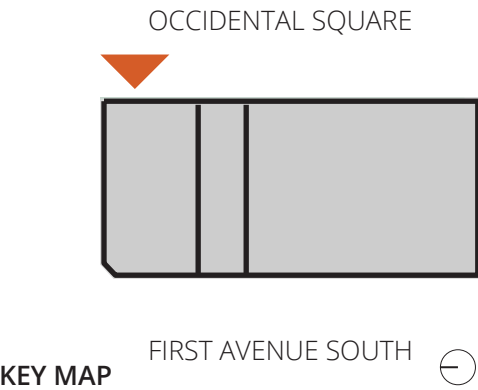


FIXTURE TYPE S2
(ARCHITECTURAL BRONZE)
@ GHOST SIGN

ENLARGED ELEVATION - GHOST SIGN



EXISTING GHOST SIGN

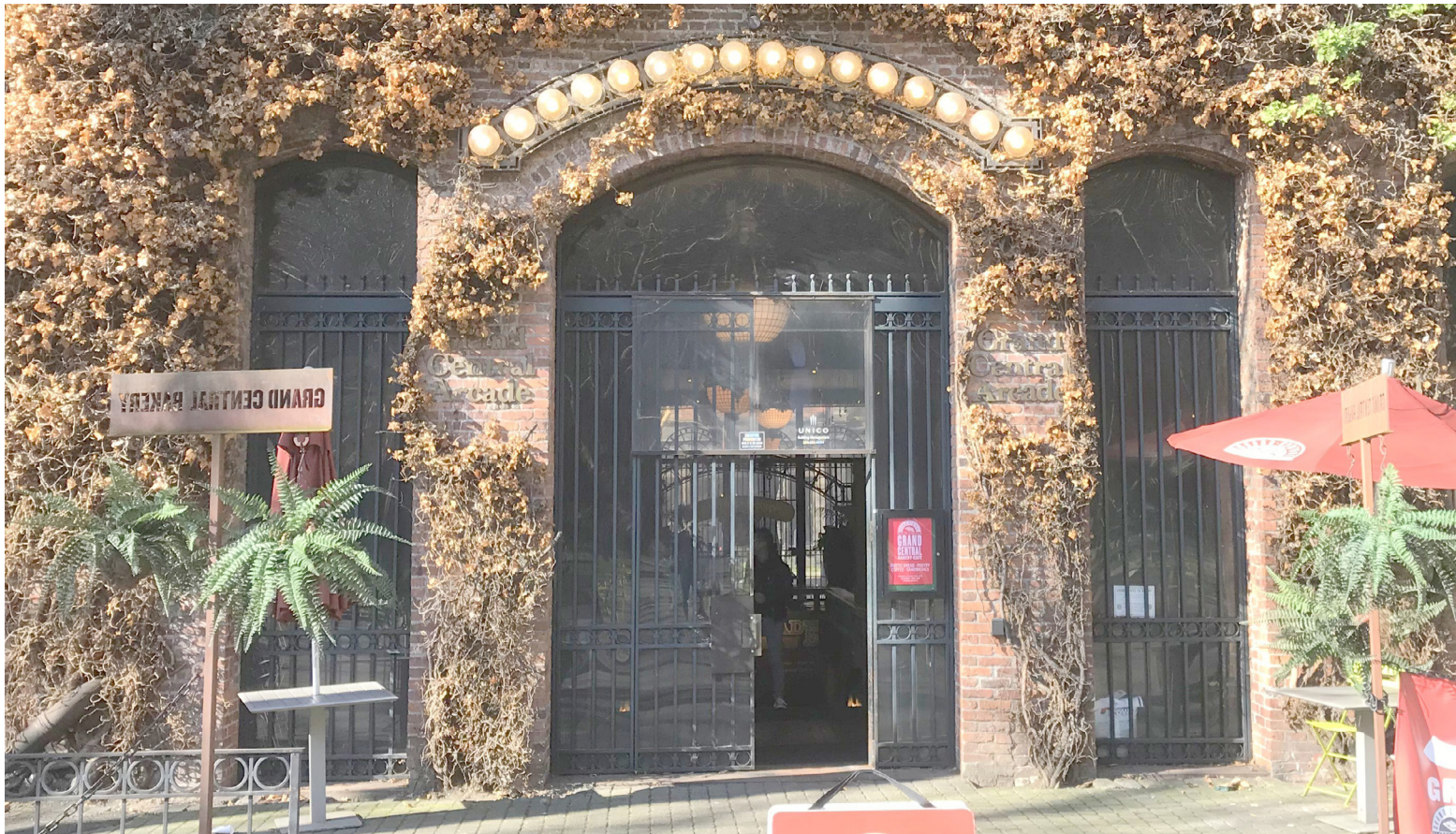


LIGHTING RENDERING FOR GHOST SIGN LOCATION

LIGHTING LOCATIONS

- Three existing light fixture locations exist at the ghost sign on the North end of the Alley.
- The existing J-box locations will be reused for the new lighting fixtures.
- No new lighting locations are proposed for the ghost sign.

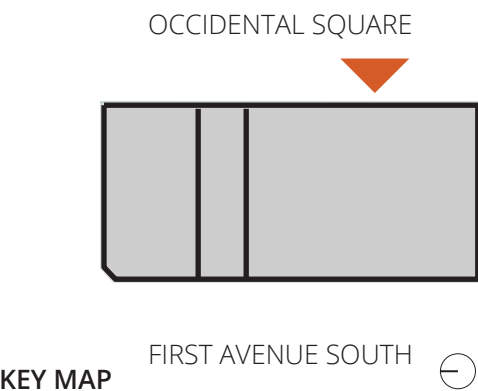
ENLARGED ELEVATION - ALLEY PUBLIC ENTRY



EXISTING GRAND CENTRAL PUBLIC ENTRY



PROPOSED GRAND CENTRAL PUBLIC ENTRY



EXTERIOR MATERIALS



- 1 Champagne (EFCO Standard Finish)
- 2 Metallic Champagne (AEP Span)
- 3 Door Hardware Pull - Antique Brass (BHMA 609 / US5)

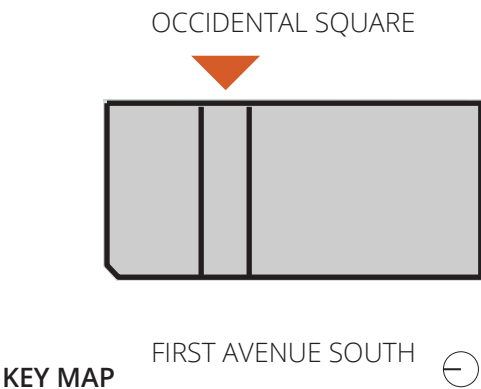
ENLARGED ELEVATION - ALLEY OFFICE ENTRY



EXISTING CITY LOAN GREEN HOUSE SEATING AREA



PROPOSED CITY LOAN OFFICE ENTRY



EXTERIOR MATERIALS



- 1 Old Town Gray (EFCO frame to match AEP Span color)
- 2 Slate Gray (EFCO door to match AEP Span color)
- 3 Door Hardware Pull - Antique Brass (BHMA 609 / US5)

ENLARGED ELEVATION - REVISED MASONRY OPENING

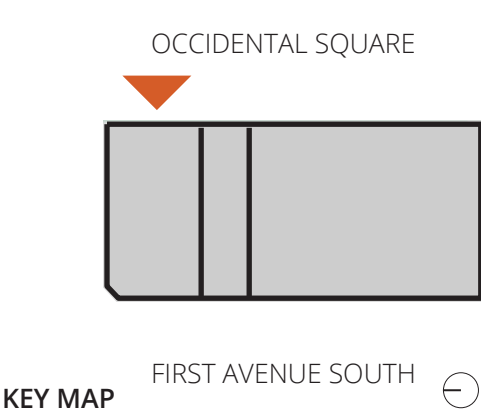


EXISTING BUTTNICK MASONRY OPENINGS

EXISTING MASONRY
AND OPENINGS TO
BE REMOVED



PROPOSED BUTTNICK STOREFRONT IN MASONRY OPENING



GENERAL NOTES

1. The proposed storefront only impacts portions of the existing facade that have been heavily modified in the past with miscellaneous storefront openings, doors, and infilled previous openings.
2. Proposed storefront opening aligns with the edge of the windows above and does not impact the vertical load path of the unreinforced masonry wall.
3. Only 25% of the proposed storefront opening is previously unmodified masonry wall.

EXTERIOR MATERIALS



1 Dark Bronze



2 Door Hardware
Pull - Antique Brass
(BHMA 609 / US5)

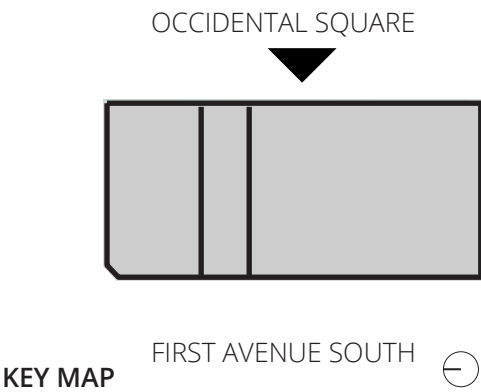
ENLARGED ELEVATION - TYPICAL TENANT STOREFRONT



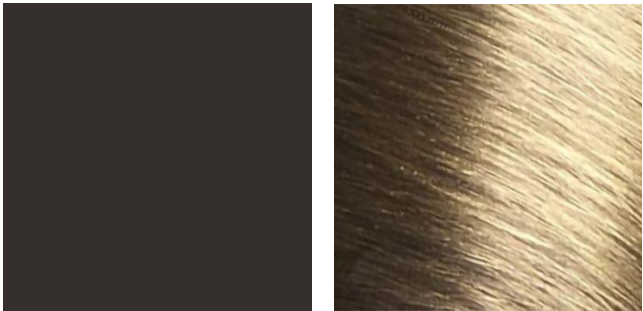
EXISTING TYPICAL TENANT STOREFRONT AT ALLEY



PROPOSED TYPICAL TENANT STOREFRONT AT ALLEY



EXTERIOR MATERIALS



1 Dark Bronze

2 Door Hardware Pull - Antique Brass (BHMA 609 / US5)

ENLARGED ELEVATION - CITY LOAN WEST



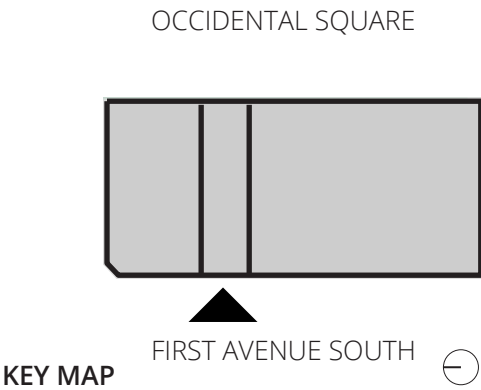
HISTORIC PHOTO FROM 1915



EXISTING WEST STOREFRONT



PROPOSED WEST STOREFRONT



EXTERIOR MATERIALS



- 1 Old Town Gray (EFCO frame to match AEP Span color)
- 2 Slate Gray (EFCO door to match AEP Span color)
- 3 Door Hardware Pull - Antique Brass (BHMA 609 / US5)

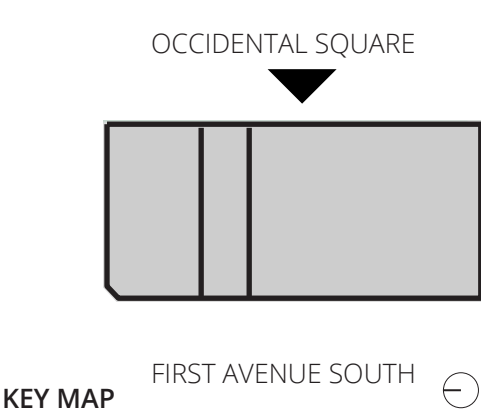
ENLARGED ELEVATION - 1ST AVE S PUBLIC ENTRY



EXISTING GRAND CENTRAL PUBLIC ENTRY



PROPOSED GRAND CENTRAL PUBLIC ENTRY



GENERAL NOTE

1. Existing iron bars at Grand Central entries were added as part of the 1972 Anderson renovation and are not from the historic period of significance.

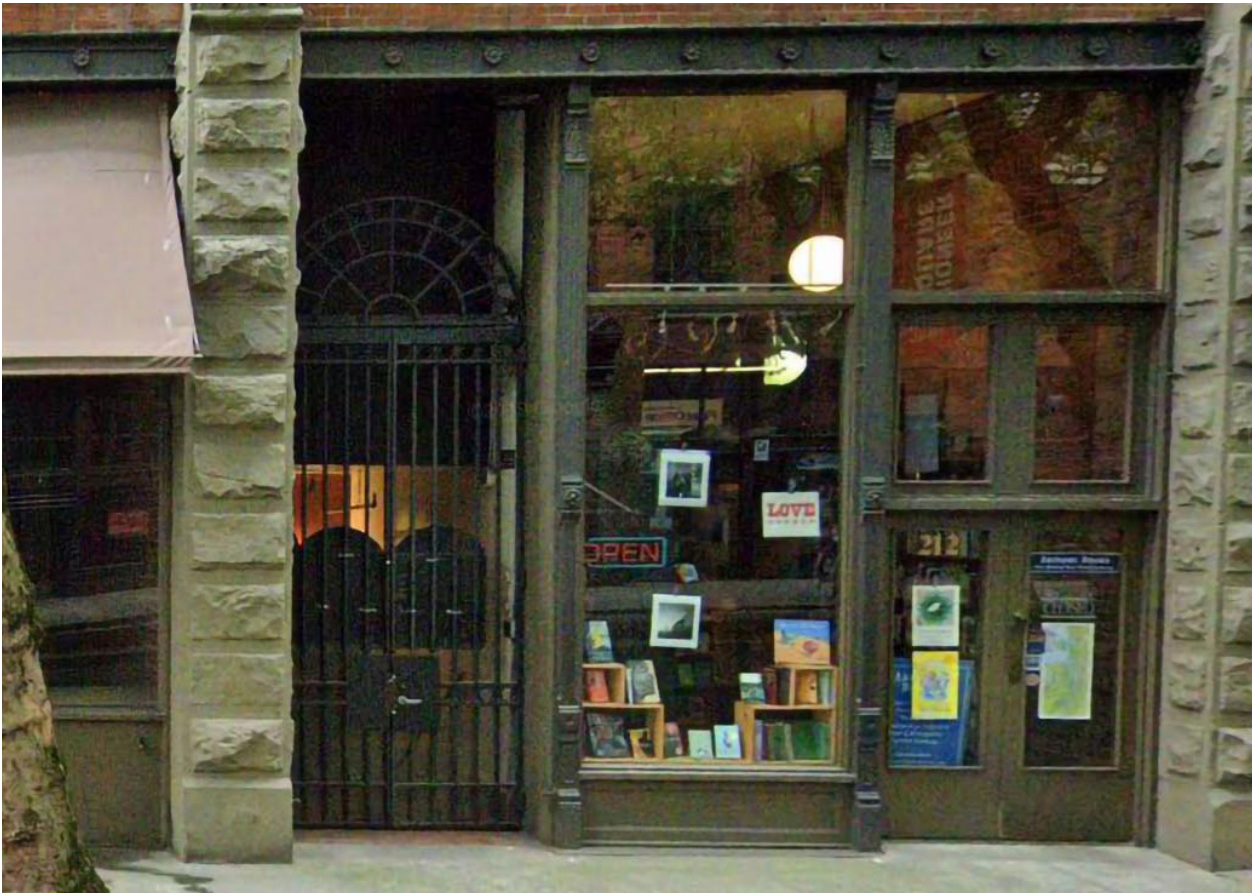
EXTERIOR MATERIALS



1 Dark Bronze

2 Door Hardware Pull - Antique Brass (BHMA 609 / US5)

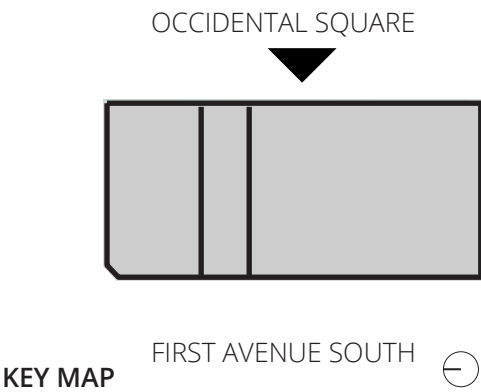
ENLARGED ELEVATION - TYPICAL TENANT STOREFRONT



EXISTING TYPICAL TENANT STOREFRONT AT STREET



EXISTING TYPICAL TENANT STOREFRONT AT STREET



EXTERIOR MATERIALS



1 Dark Bronze



2 Door Hardware Pull - Antique Brass (BHMA 609 / US5)

WINDOWS - REPLACMENT/MODIFICIATION DATES

CLARK
BARNES



BUTTNICK

CITY LOAN

GRAND CENTRAL

1ST AVE S ELEVATION



GRAND CENTRAL

S MAIN ST ELEVATION



GRAND CENTRAL

CITY LOAN

BUTTNICK

ALLEY / OCCIDENTAL PARK ELEVATION

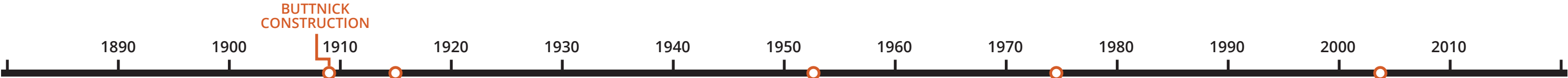


BUTTNICK

S WASHINGTON ST ELEVATION

BUTTNICK WINDOWS - NOT ORIGINAL

CLARK
BARNES



1915 First photo of Buttnick windows. Assumed original condition



1974 Shows some windows modified to casement condition instead of pivot.



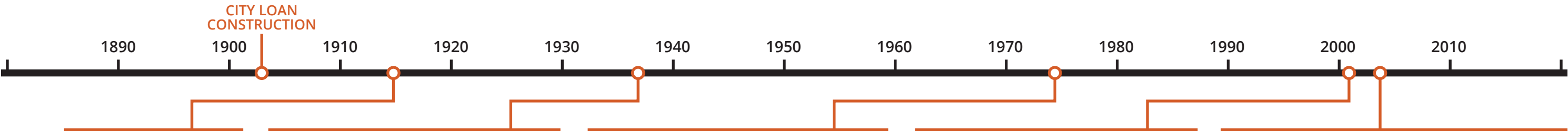
1952 Reconstructed Buttnick windows after the 1950 gas explosion in basement and associated upper floor fire.



2003 Shows windows that were modified in the 2002 renovation project.

CITY LOAN WINDOWS - NOT ORIGINAL

CLARK
BARNES



1915 Original windows with no muntins.



1937 Windows have begun being modified as seen in the bottom right window.



1974 Multiple windows with muntins, but no complete replacement



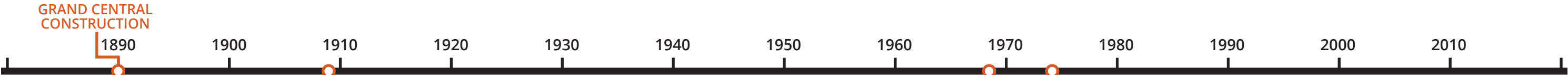
2001 All windows have been replaced by this time with 2:2 double hung windows. Assumed replacement date is 1970s



2003 Shows windows modified and restored in the 2002 renovation project.

GRAND CENTRAL WINDOWS - NOT ORIGINAL

CLARK
BARNES



1909 Double hung original windows with arches on South bay.



1974 Shows windows modified and sashes replaced with stationary 1:1 single sash during 1972 building renovation.



1969 Double hung windows in poor condition with crooked sashes and arches missing on South bay.

A Surface Defects

Includes damage which can be easily remedied by basic window maintenance such as repainting, removing fasteners, and minor glazing putty repair.



CHIPPED PAINT
Missing paint due to impact, typically at interior.



NAILS/FASTENERS
Fasteners embedded in the window that are not related to the window.



WORN PAINT OR WOOD
Paint is thin, transparent, or missing due to weathering or friction. Rough texture of wood surface due to weathering of softer portions of the wood.



CRACKED PUTTY (MINOR)
Minor cracks in the glazing putty that do not extend all the way through.

B Moderate Damage

Includes damage that requires more sophisticated and specialized window repair such as reglazing existing panes, glass replacement, tightening joints and glazing beads, scraping and cleaning of biological growth, scraping of loose and flaking paint, and filling shallow cracks. Repair may require specialty cleaning products or equipment. Window hardware and sash cord replacement is included in this category. Mechanical cuts are also included in this category since these cuts are not signs of deterioration and do not need to be corrected except for aesthetic reasons.



CRACKED/MISSING PUTTY
Cracks in glazing putty that extend all the way through or full segments of missing glazing putty.



CRACKED GLASS
Crack extending completely through the pane of glass.



BIOLOGICAL GROWTH
Moss, mold, or plant growth that is attached to the wood of the window. Most biological growth documented on the block is vine residue on the East and South facades.



BUBBLED/FLAKING PAINT
Lifting up and peeling away of paint due to loss of adhesion. Bubbled paint has lifted up but not cracked on the surface. Loss of adhesion can be a sign of substrate problems.



CRACKED WOOD (SHALLOW)
Separation of wood extending beyond the surface but not completely through the board.



GAPS AT JOINTS
Loose joints in the sash or frame or visible separation between two separate pieces of wood.



MISSING/BROKEN HARDWARE
The window hardware or sash cords are damaged or no longer exist.



MECHANICAL CUTS
Damage to the wood that creates a clean groove.



LOOSE GLAZING BEADS
Wood glazing beads that do not provide a tight fit and that allow glass movement.

C Severe Damage

Includes damage that requires replacement of wood elements of the window. Wood replacement elements typically require milling of the wood to match existing profiles. Reasons for wood replacement include rot and decay, missing elements, deep cracks, broken elements, or non-matching elements that are the result of poor previous repairs. This category also includes repairs to make the window operable. Some windows on the Buttnick building are stuck in an open position and will require significant work to repair. Windows with damage to the masonry opening in which they are installed are included in this category. These windows will likely need to be partially or fully removed to fix the damage to the masonry opening.



MISSING ELEMENTS

Window element no longer exists.



ROT/DECAY

Decomposition of wood by fungi or other microorganisms, resulting in softening, loss of strength and weight, and often a change of texture and color.



INOPERABLE (DAMAGE)

Window cannot be opened due to swelling, warping, painting, caulking, or mechanical fasteners. Does not apply to windows intentionally made inoperable during restoration.



CRACKS (DEEP)

A separation of wood extending completely through the board.



NON-MATCHING ELEMENTS

Elements used to repair the window that do not match the historic profile or character of the window. Non-matching trim is not considered Severe.



BROKEN

Having been fractured or damaged and no longer in one piece or in working order.



MASONRY OPENING DAMAGE

Damage to the masonry opening that causes damage to the window or requires removal of the window to repair.

WINDOWS - CONDITION

LEGEND

- A** SURFACE DEFECTS
- B** MODERATE DAMAGE
- C** SEVERE DAMAGE



WEST ELEVATION

WINDOWS - CONDITION

LEGEND

- A** SURFACE DEFECTS
- B** MODERATE DAMAGE
- C** SEVERE DAMAGE



EAST ELEVATION

WINDOWS - CONDITION

- LEGEND
- A** SURFACE DEFECTS
 - B** MODERATE DAMAGE
 - C** SEVERE DAMAGE



NORTH ELEVATION



SOUTH ELEVATION

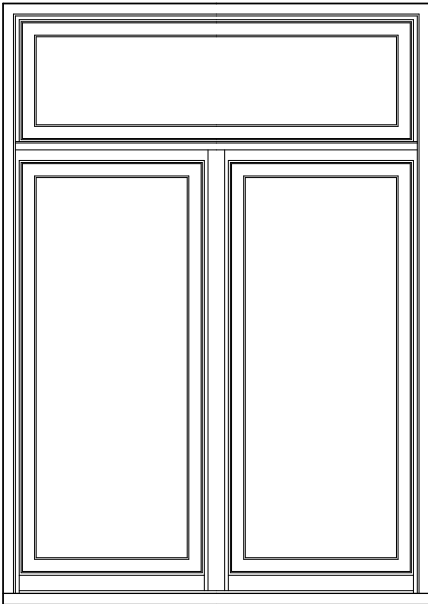
WINDOW TYPES - BUTTNICK

TYPE: WA




EXISTING - PHOTOGRAPH

	EXISTING
MATERIAL	WOOD
GLASS TYPE	SINGLE, CLEAR
FUNCTION	PIVOT/CASEMENT, FIXED TRANSOM
TRIM	WOOD
MULLIONS	WOOD
TRANSOM BAR	WOOD
MUNTINS	NONE
COMMENTS	NONE



PROPOSED - ELEVATION

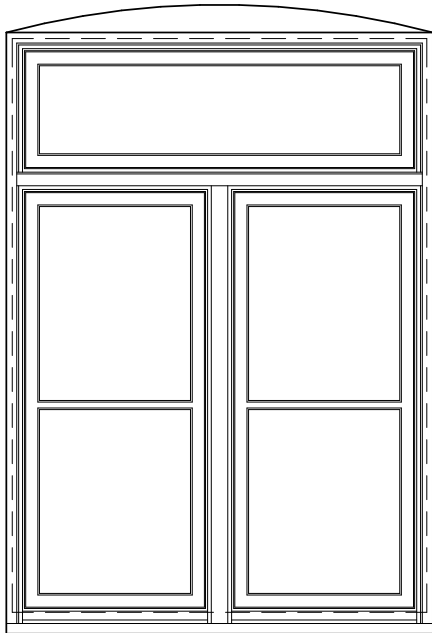
	PROPOSED
MATERIAL	ALUM CLAD WOOD
GLASS TYPE	CLEAR, DOUBLE, LOW-E
FUNCTION	FIXED PIVOT, FIXED TRANSOM
TRIM	ALUM
MULLIONS	ALUM CLAD WOOD
TRANSOM BAR	ALUM CLAD WOOD
MUNTINS	NONE
FINISH	PEBBLE TAN 
COMMENTS	NONE

WB TYPE:




EXISTING - PHOTOGRAPH

	EXISTING
MATERIAL	WOOD
GLASS TYPE	SINGLE, CLEAR
FUNCTION	FIXED PIVOT, FIXED TRANSOM
TRIM	WOOD
MULLIONS	WOOD
TRANSOM BAR	WOOD
MUNTINS	WOOD
COMMENTS	NONE



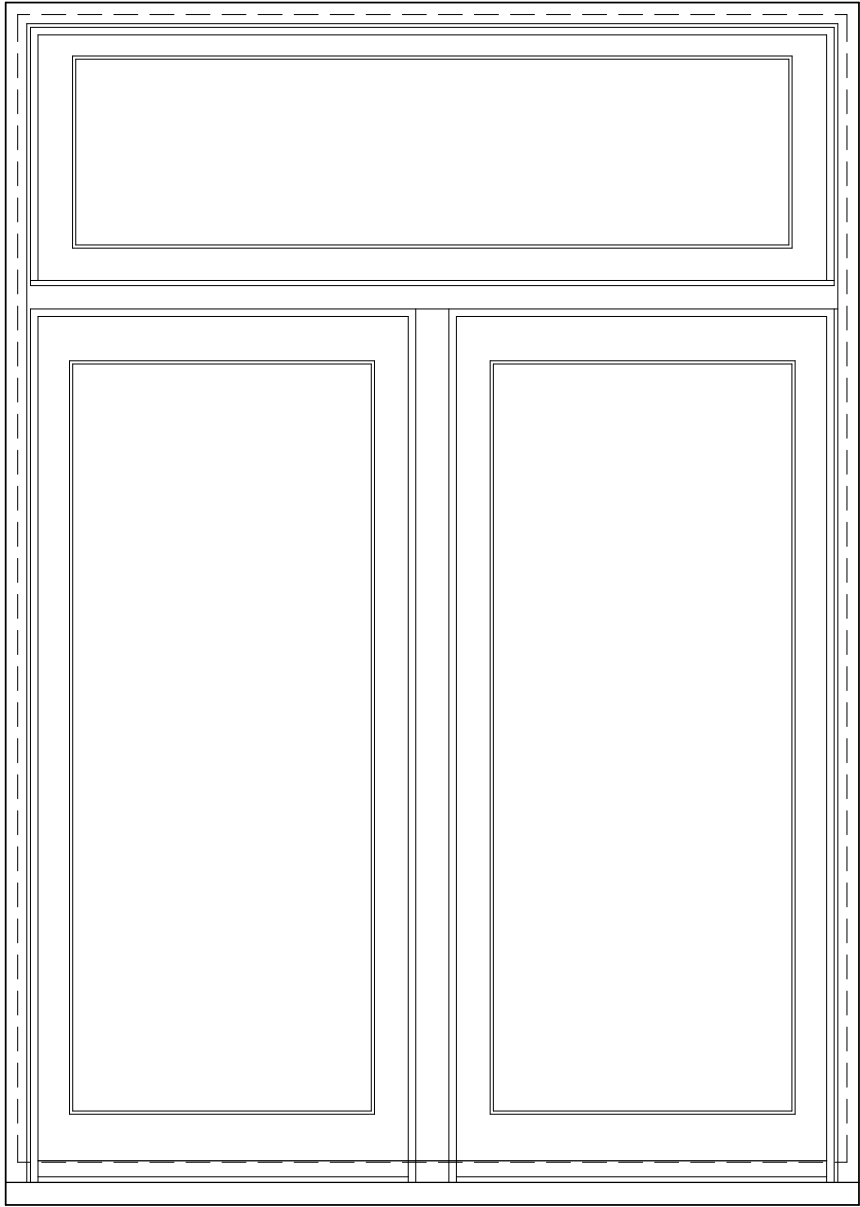
PROPOSED - ELEVATION

	PROPOSED
MATERIAL	ALUM CLAD WOOD
GLASS TYPE	CLEAR, DOUBLE, LOW-E
FUNCTION	FIXED PIVOT, FIXED TRANSOM
TRIM	ALUM
MULLIONS	ALUM CLAD WOOD
TRANSOM BAR	ALUM CLAD WOOD
MUNTINS	ALUM CLAD WOOD FDL
FINISH	PEBBLE TAN 
COMMENTS	NONE

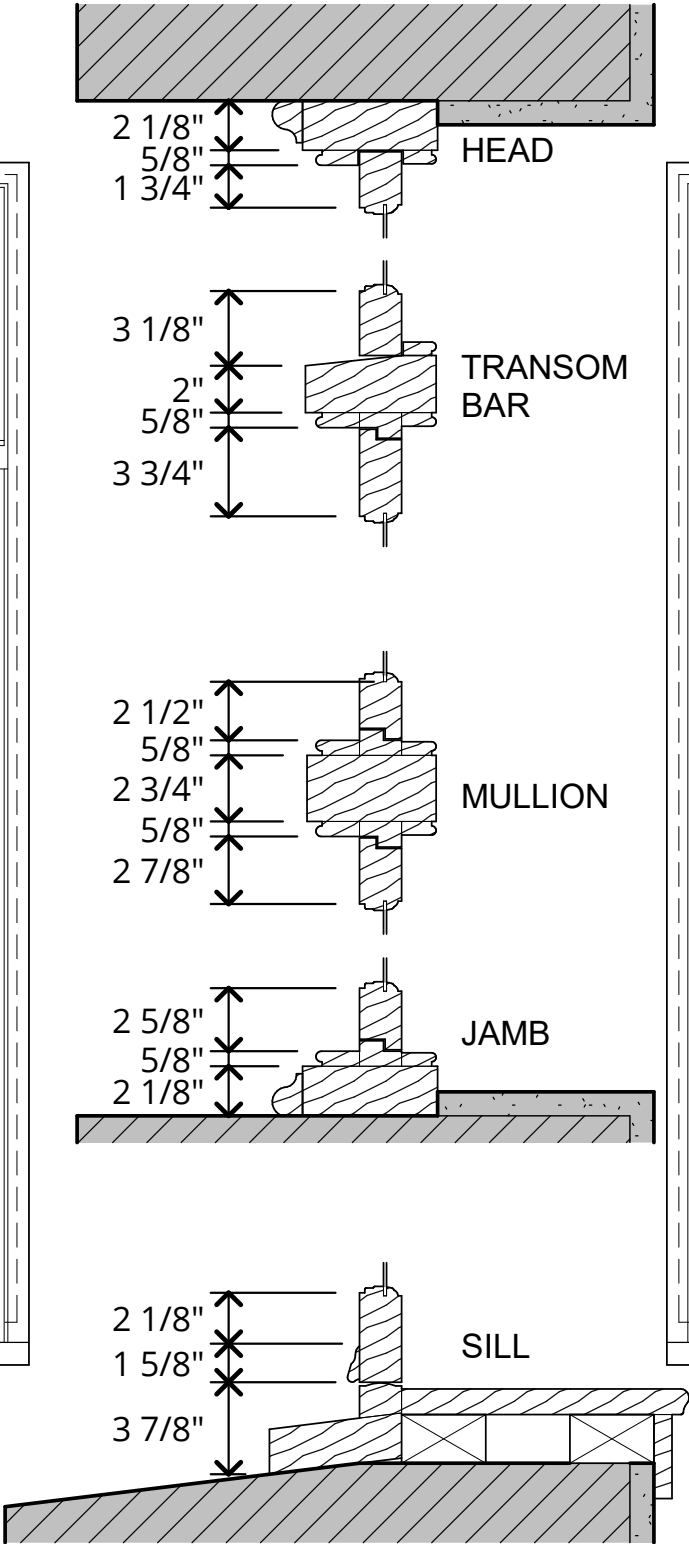
WINDOW TYPES - BUTTNICK

CLARK
BARNES

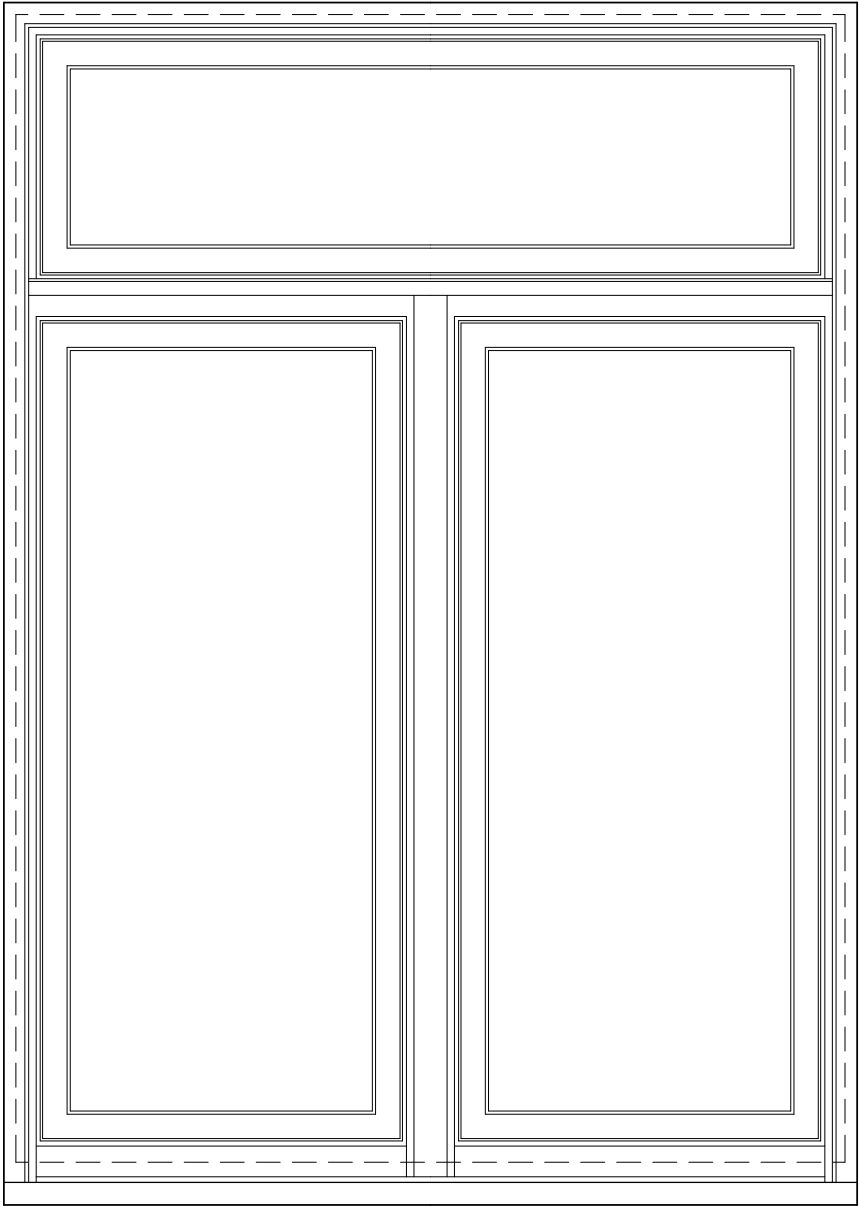
CLASSIFICATION: WA



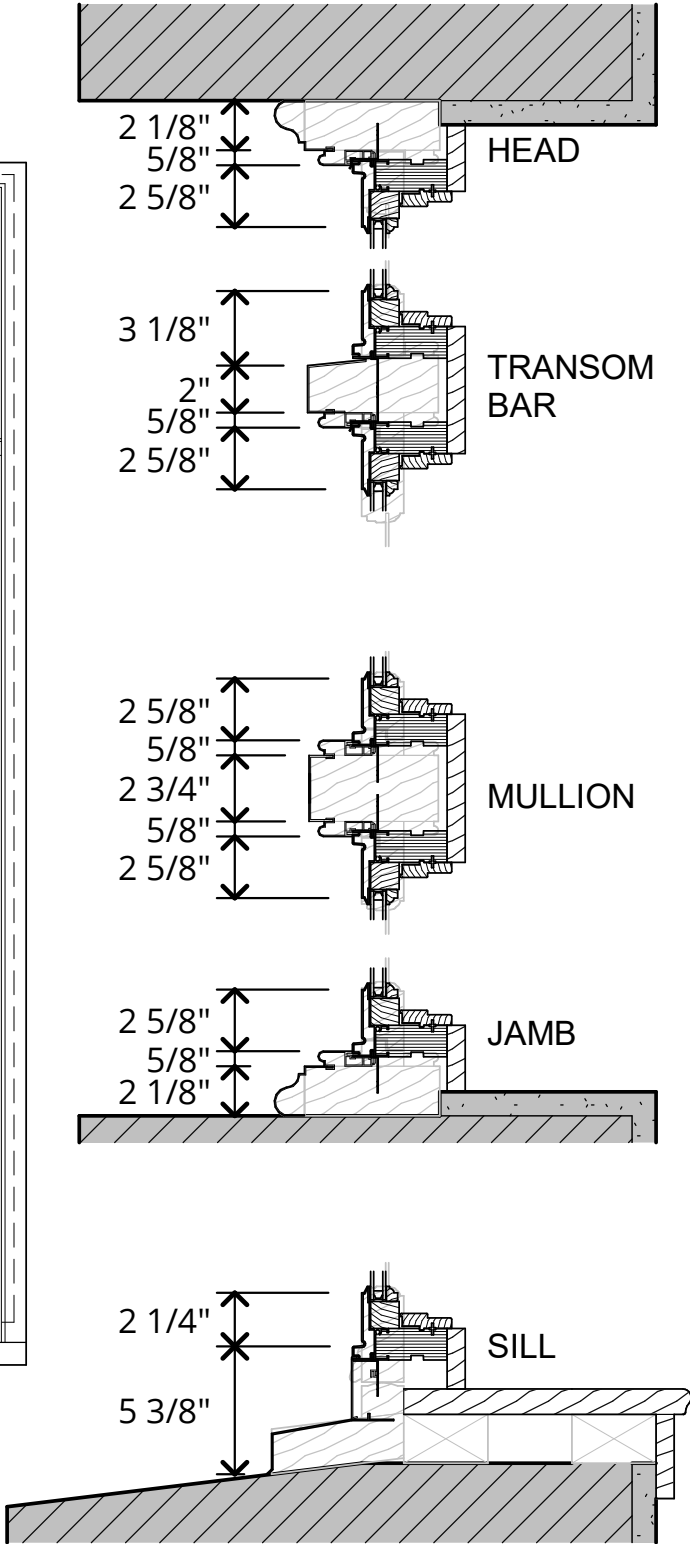
EXISTING ELEVATION



EXISTING SECTION



PROPOSED ELEVATION

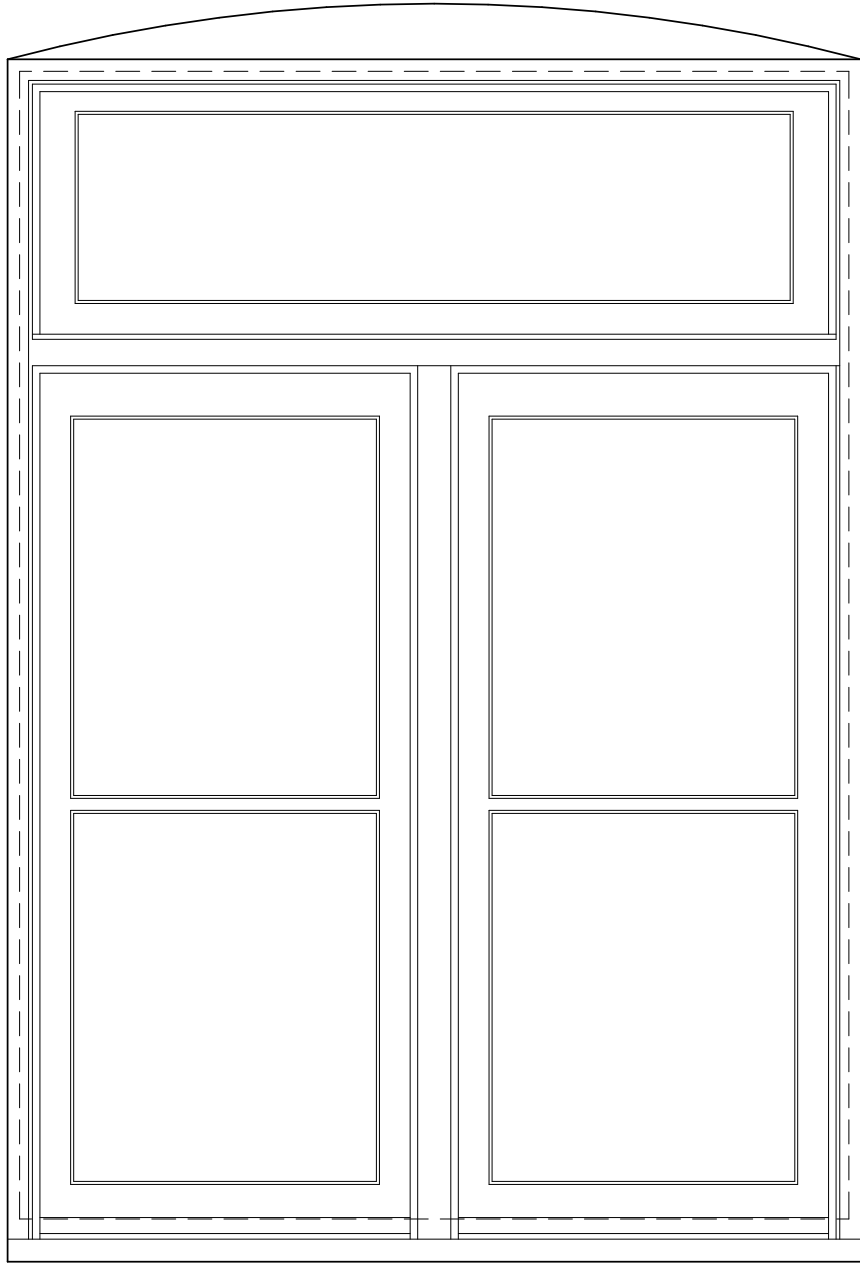


PROPOSED SECTION

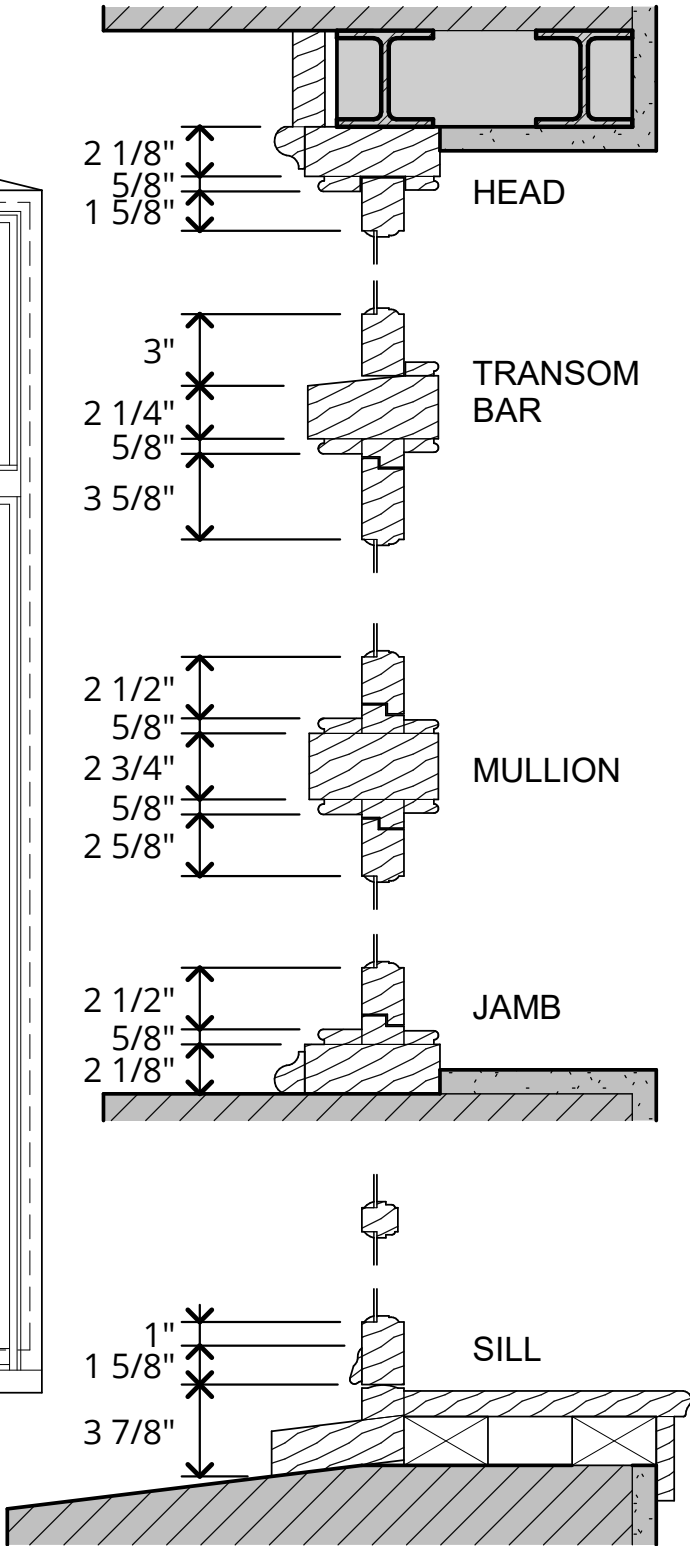
WINDOW TYPES - BUTTNICK

CLARK
BARNES

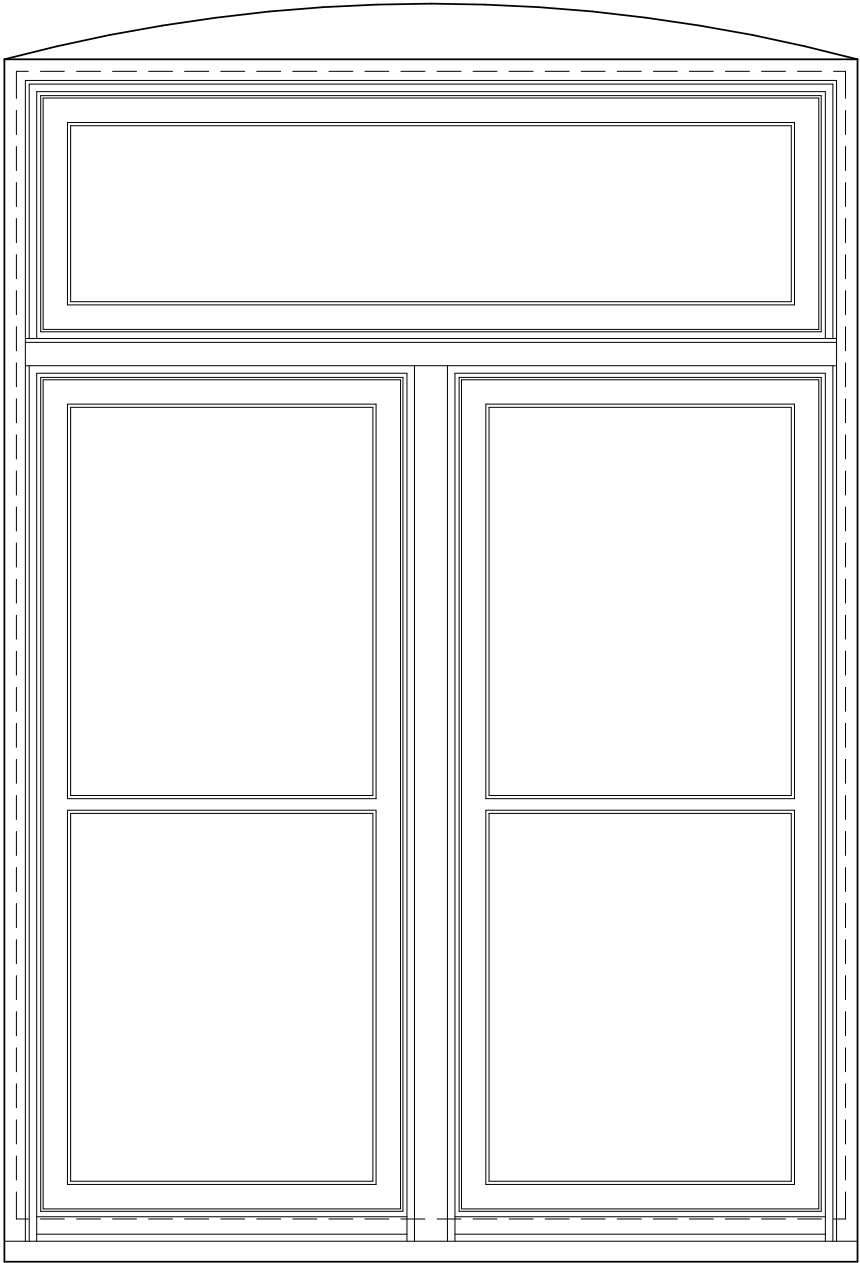
TYPE: WB



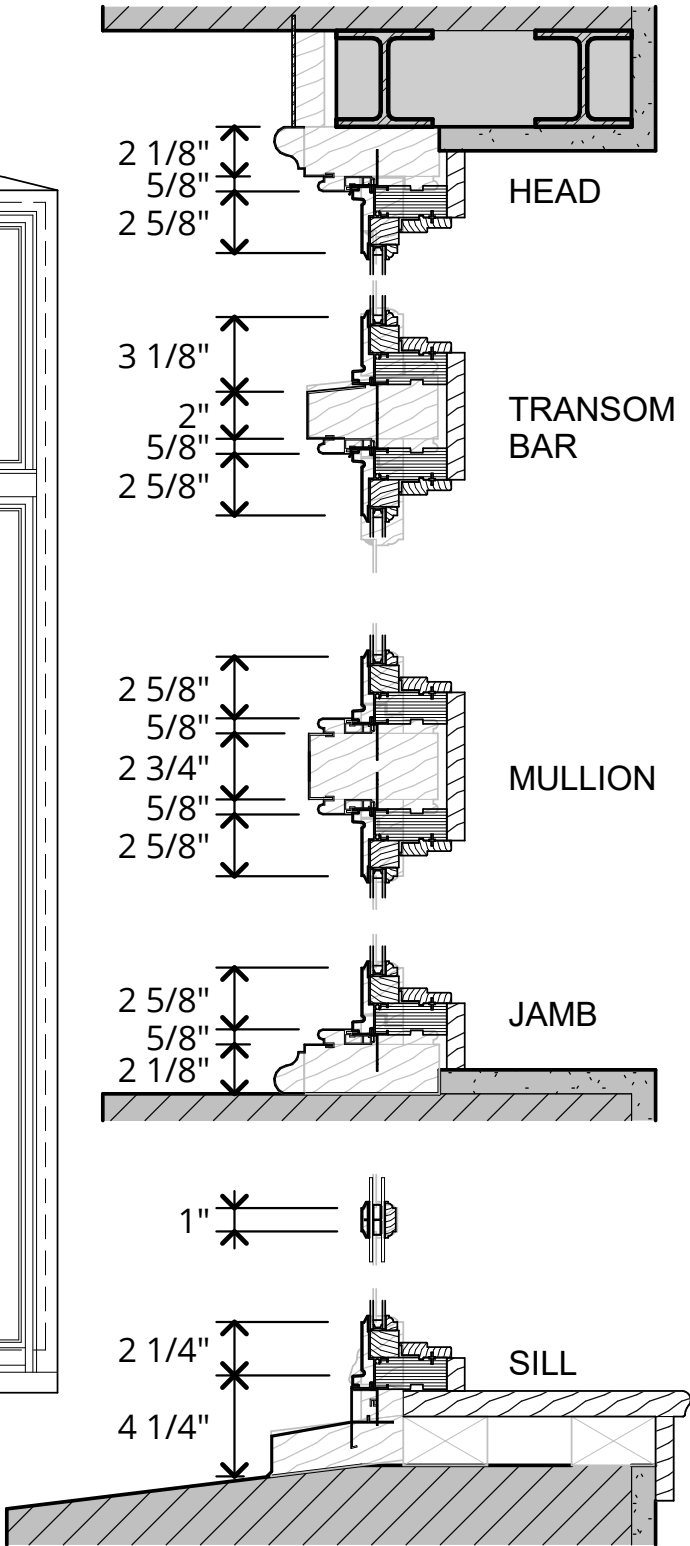
EXISTING ELEVATION



EXISTING SECTION



PROPOSED ELEVATION



PROPOSED SECTION

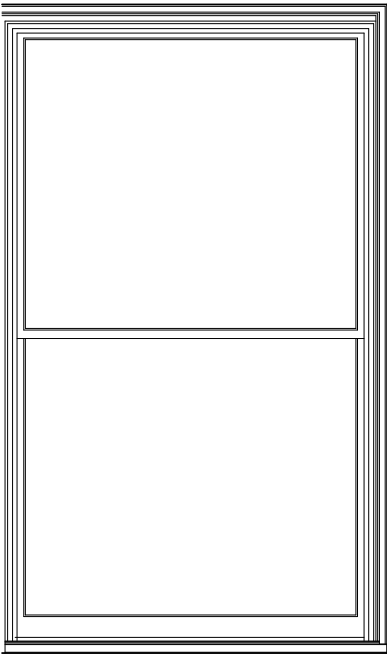
WINDOW TYPES - CITY LOAN

TYPE: WC




EXISTING - PHOTOGRAPH

	EXISTING
MATERIAL	WOOD
GLASS TYPE	SINGLE, CLEAR
FUNCTION	SINGLE HUNG
TRIM	WOOD
MULLIONS	WOOD
TRANSOM BAR	NONE
MUNTINS	WOOD
COMMENTS	NONE



PROPOSED - ELEVATION

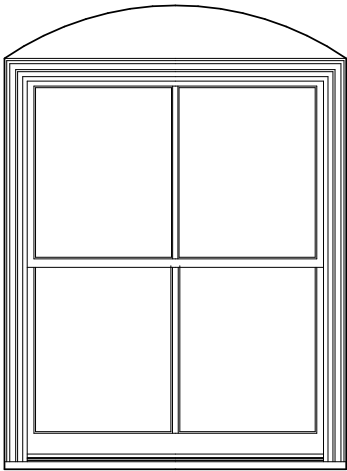
	PROPOSED
MATERIAL	ALUM CLAD WOOD
GLASS TYPE	CLEAR, DOUBLE, LOW-E
FUNCTION	SINGLE HUNG (INOPERABLE)
TRIM	ALUM
MULLIONS	ALUM CLAD
TRANSOM BAR	NONE
MUNTINS	NONE
FINISH	YORKTOWN PEWTER 
COMMENTS	ORIGINAL SASHES DID NOT HAVE CENTER MUNTIN

TYPE: WD




EXISTING - PHOTOGRAPH

	EXISTING
MATERIAL	WOOD
GLASS TYPE	SINGLE, CLEAR
FUNCTION	SINGLE HUNG
TRIM	WOOD
MULLIONS	NONE
TRANSOM BAR	NONE
MUNTINS	WOOD
COMMENTS	NONE



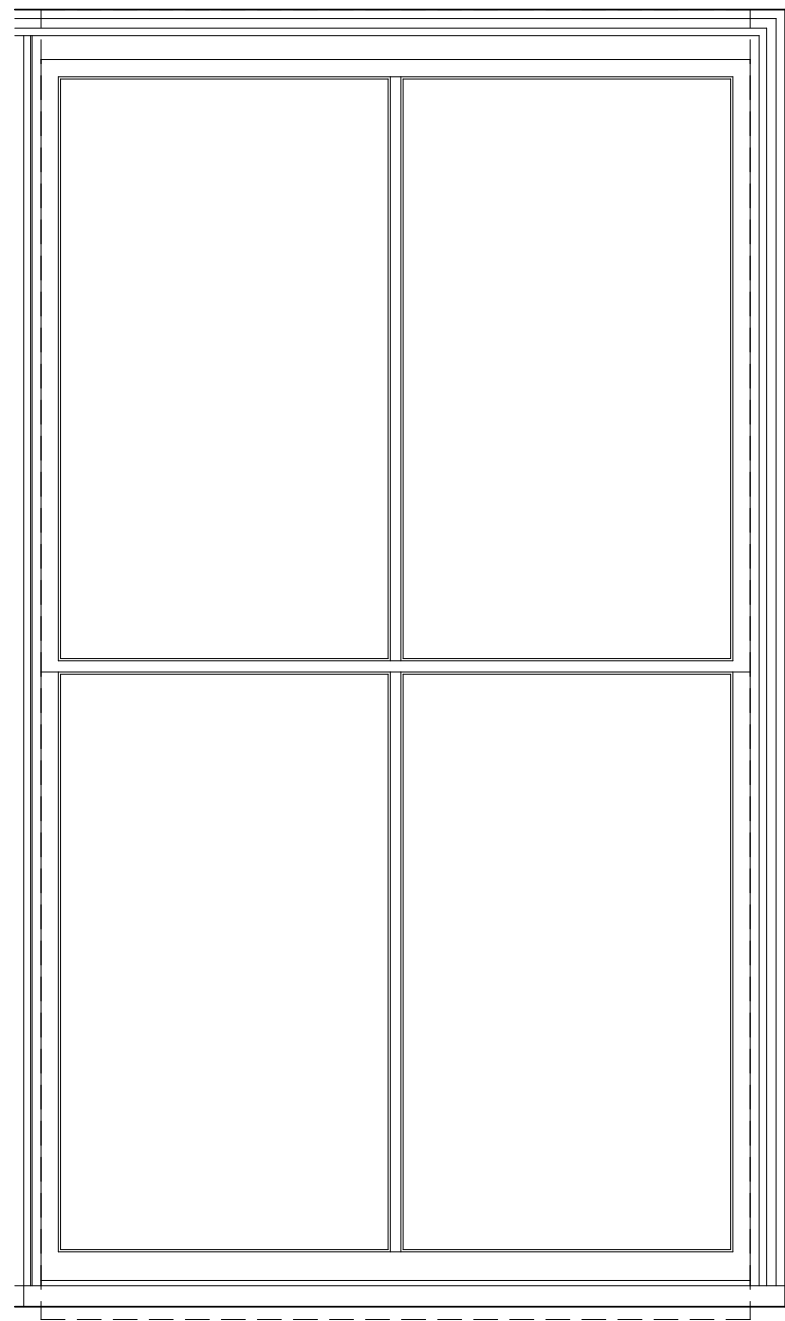
PROPOSED - ELEVATION

	PROPOSED
MATERIAL	ALUM CLAD WOOD
GLASS TYPE	CLEAR, DOUBLE, LOW-E
FUNCTION	SINGLE HUNG
TRIM	ALUM
MULLIONS	NONE
TRANSOM BAR	NONE
MUNTINS	ALUM CLAD WOOD FDL
FINISH	YORKTOWN PEWTER 
COMMENTS	NONE

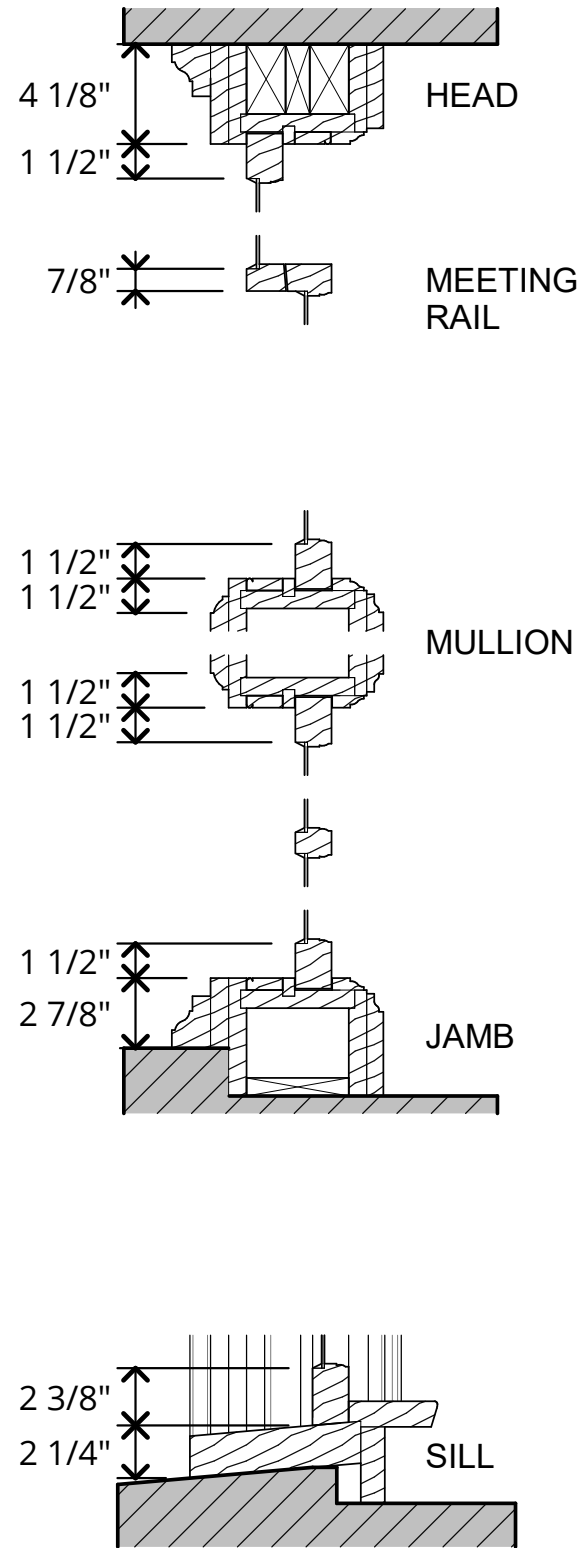
WINDOW TYPES - CITY LOAN

CLARK
BARNES

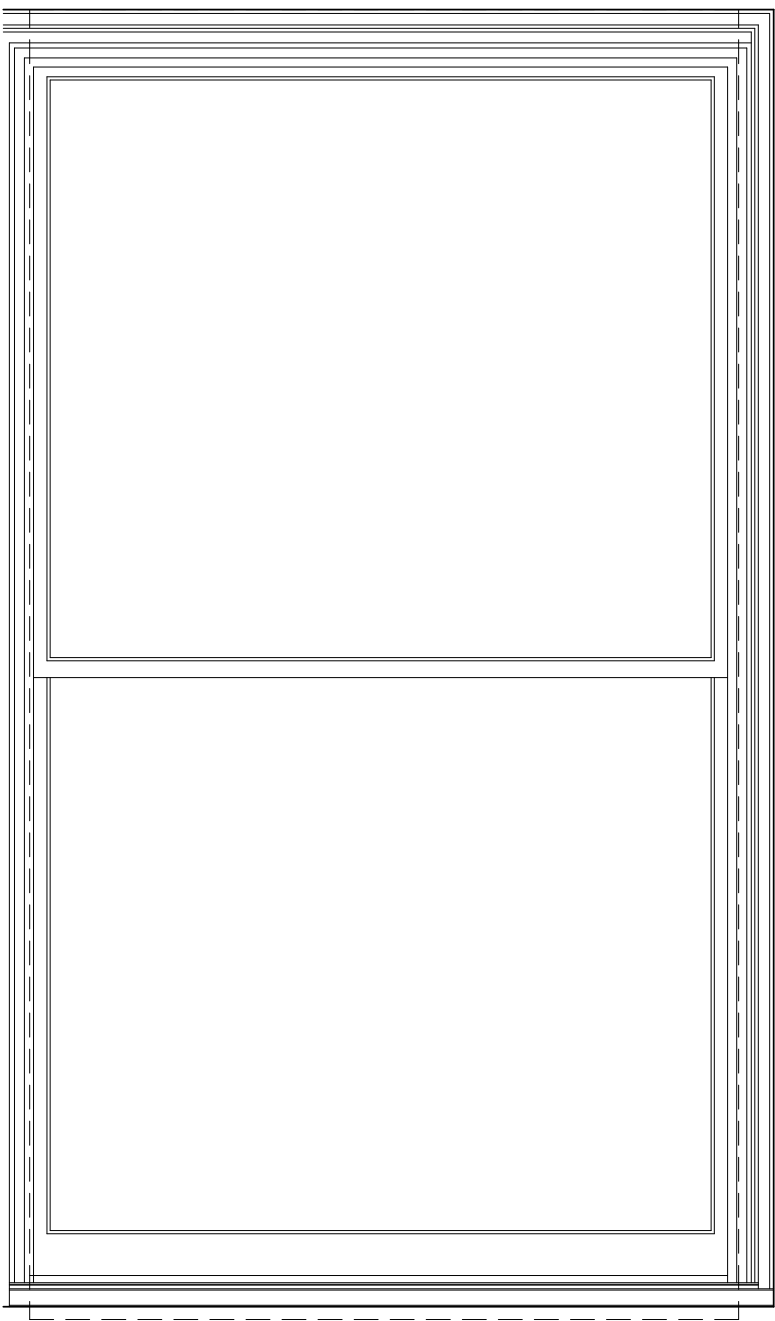
TYPE: WC



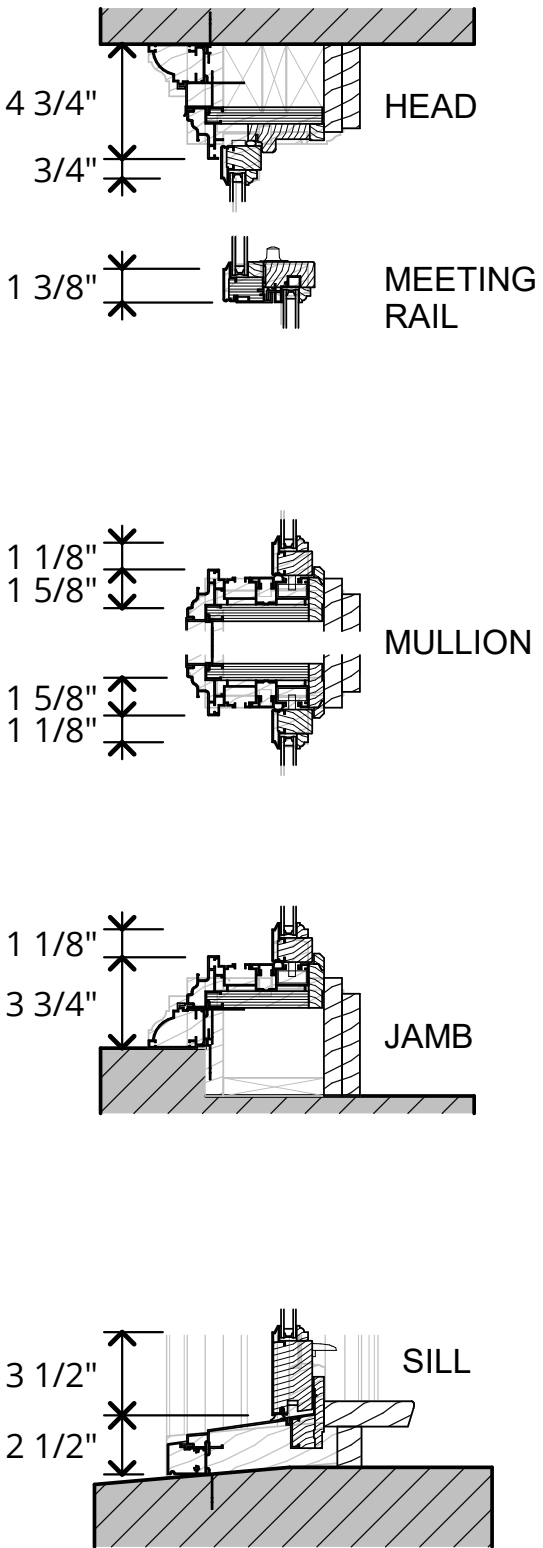
EXISTING ELEVATION



EXISTING SECTION



PROPOSED ELEVATION

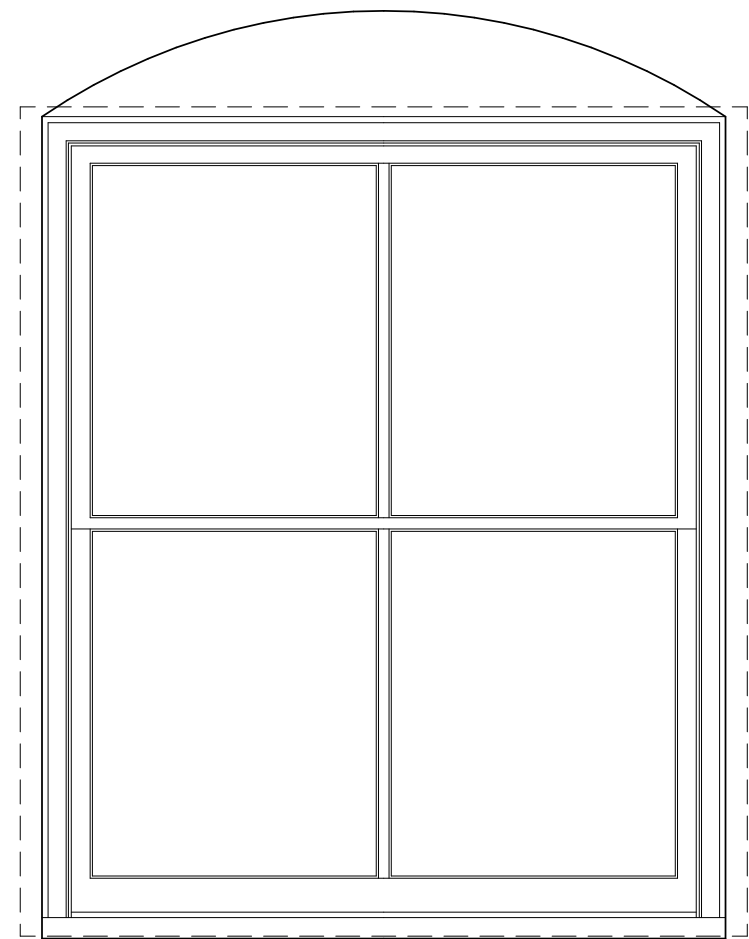


PROPOSED SECTION

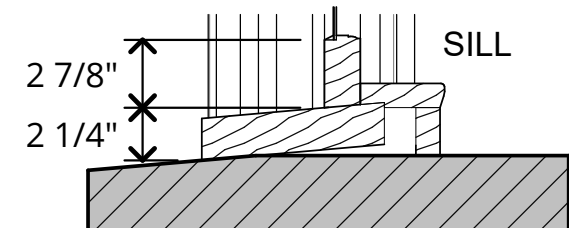
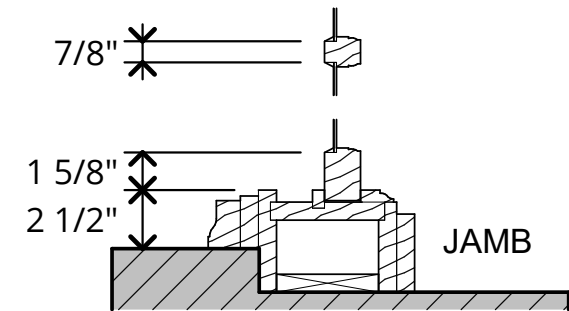
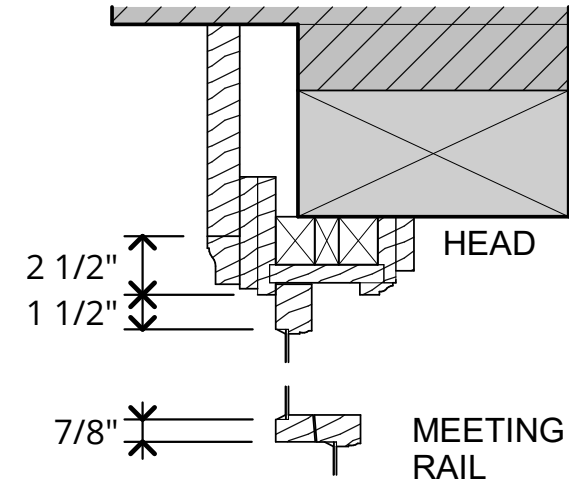
WINDOW TYPES - CITY LOAN

TYPE: WD

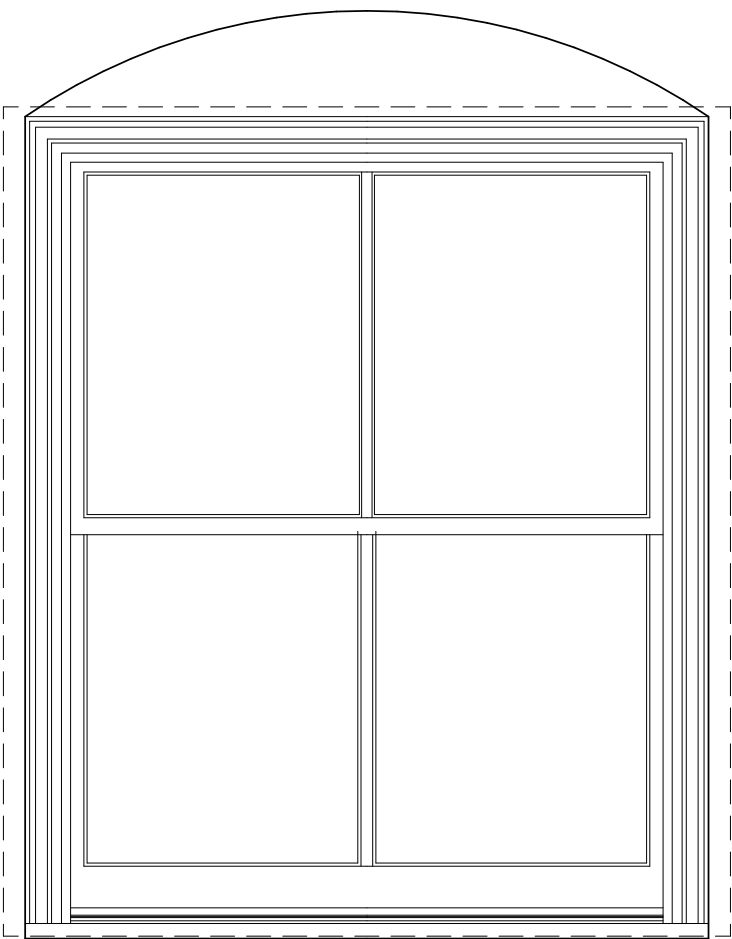
CLARK
BARNES



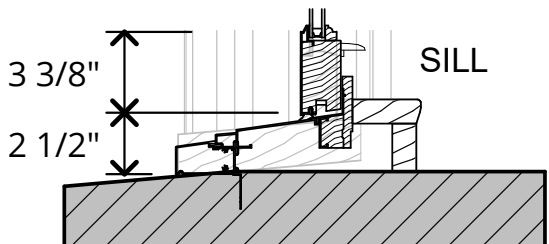
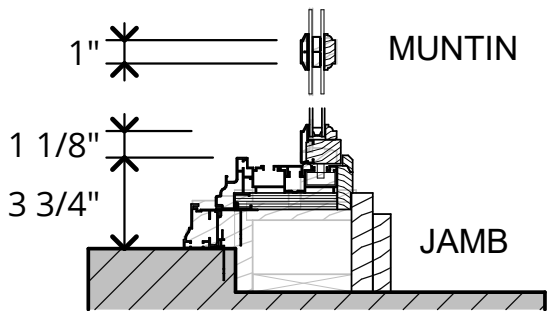
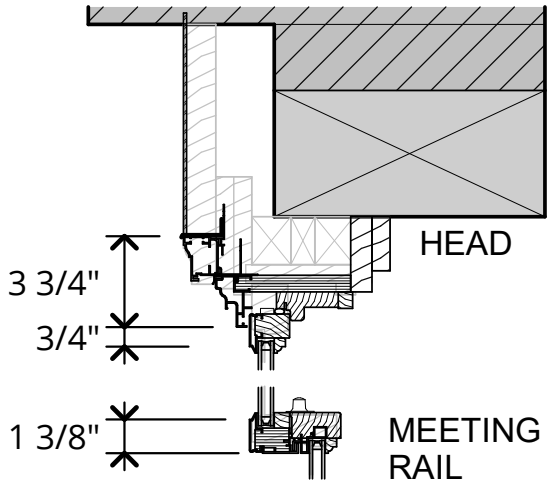
EXISTING ELEVATION



EXISTING SECTION



PROPOSED ELEVATION



PROPOSED SECTION

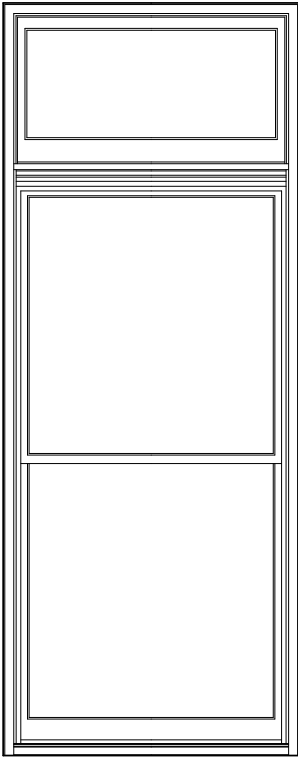
WINDOW TYPES - GRAND CENTRAL

TYPE: WE




EXISTING - PHOTOGRAPH

	EXISTING
MATERIAL	WOOD
GLASS TYPE	SINGLE, CLEAR; STAINED GLASS
FUNCTION	FIXED PICTURE, FIXED TRANSOM
TRIM	WOOD
MULLIONS	NONE
TRANSOM BAR	WOOD
MUNTINS	WOOD
COMMENTS	NONE



PROPOSED - ELEVATION

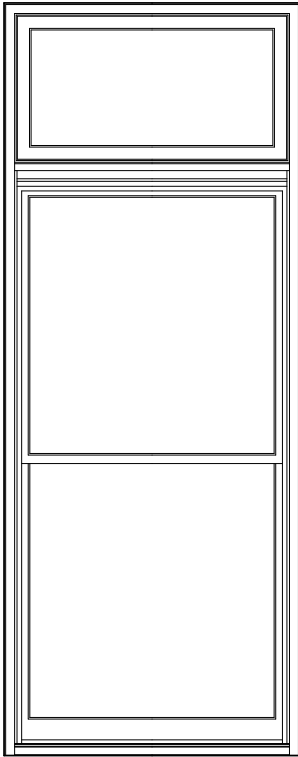
	PROPOSED
MATERIAL	ALUM CLAD WOOD
GLASS TYPE	CLEAR DOUBLE, LOW-E; STAINED GLASS
FUNCTION	SINGLE HUNG (INOPERABLE), FIXED TRANSOM
TRIM	ALUM
MULLIONS	NONE
TRANSOM BAR	WOOD & ALUM CLAD WOOD
MUNTINS	NONE
FINISH	SIERRA BRONZE & PAINT TO MATCH 
COMMENTS	RETAIN STAINED GLASS TRANSOM W/ NEW WINDOW BELOW AND NEW BRICK MOLD TRIM

TYPE: WF




EXISTING - PHOTOGRAPH

	EXISTING
MATERIAL	WOOD
GLASS TYPE	SINGLE, CLEAR
FUNCTION	FIXED PICTURE, FIXED TRANSOM
TRIM	WOOD
MULLIONS	NONE
TRANSOM BAR	WOOD
MUNTINS	WOOD
COMMENTS	NONE



PROPOSED - ELEVATION

	PROPOSED
MATERIAL	ALUM CLAD WOOD
GLASS TYPE	CLEAR DOUBLE, LOW-E
FUNCTION	SINGLE HUNG (INOPERABLE), FIXED TRANSOM
TRIM	ALUM
MULLIONS	NONE
TRANSOM BAR	ALUM CLAD WOOD
MUNTINS	NONE
FINISH	SIERRA BRONZE 
COMMENTS	NONE

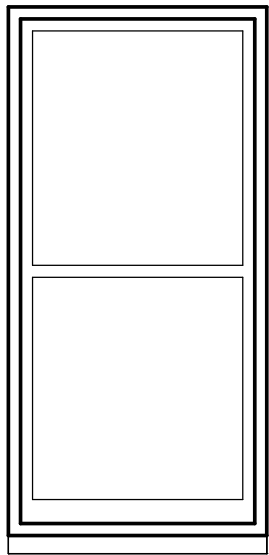
WINDOW TYPES - GRAND CENTRAL

TYPE: WG



EXISTING - PHOTOGRAPH

	EXISTING
MATERIAL	WOOD
GLASS TYPE	SINGLE, CLEAR
FUNCTION	FIXED PICTURE
TRIM	WOOD
MULLIONS	NONE
TRANSOM BAR	NONE
MUNTINS	WOOD
COMMENTS	WINDOWS ARE MODIFIED VERSIONS OF WH & WJ WITH BRICK ARCHES AT EXTERIOR MODIFIED TO BE FLAT WITH STEEL LINTELS. INTERIOR IS SIMILAR TO ORIGINAL TYPE.



PROPOSED - ELEVATION

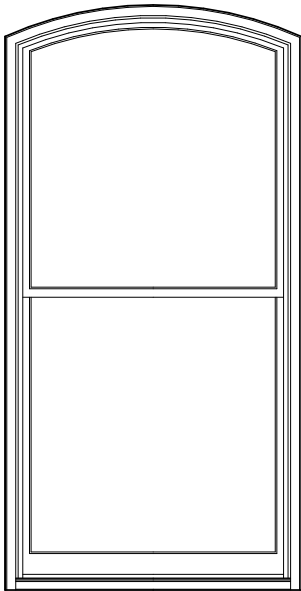
	PROPOSED
MATERIAL	ALUM CLAD WOOD
GLASS TYPE	CLEAR, DOUBLE, LOW-E
FUNCTION	SINGLE HUNG (INOPERABLE)
TRIM	ALUM
MULLIONS	NONE
TRANSOM BAR	NONE
MUNTINS	NONE
FINISH	SIERRA BRONZE <div></div>
COMMENTS	REPLACEMENT WINDOWS WILL HAVE SAME DETAILING AS WH AND WJ WITHOUT ARCHES. PROFILE COMPARISON NOT PROVIDED.

TYPE: WH



EXISTING - PHOTOGRAPH

	EXISTING
MATERIAL	WOOD
GLASS TYPE	SINGLE, CLEAR
FUNCTION	FIXED PICTURE
TRIM	WOOD
MULLIONS	NONE
TRANSOM BAR	NONE
MUNTINS	WOOD
COMMENTS	NONE



PROPOSED - ELEVATION

	PROPOSED
MATERIAL	ALUM CLAD WOOD
GLASS TYPE	CLEAR, DOUBLE, LOW-E
FUNCTION	SINGLE HUNG (INOPERABLE)
TRIM	ALUM
MULLIONS	NONE
TRANSOM BAR	NONE
MUNTINS	NONE
FINISH	SIERRA BRONZE <div></div>
COMMENTS	NONE

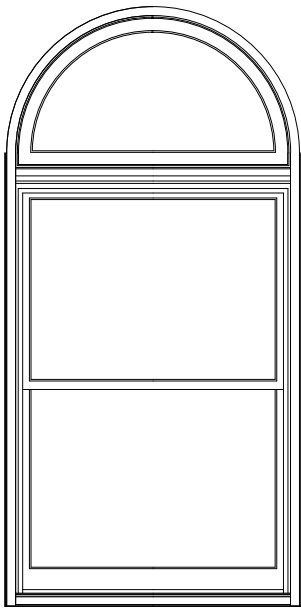
WINDOW TYPES - GRAND CENTRAL

TYPE: WJ




EXISTING - PHOTOGRAPH

	EXISTING
MATERIAL	WOOD
GLASS TYPE	SINGLE, CLEAR
FUNCTION	FIXED PICTURE, FIXED TRANSOM
TRIM	WOOD
MULLIONS	NONE
TRANSOM BAR	WOOD
MUNTINS	WOOD
COMMENTS	NONE



PROPOSED - ELEVATION

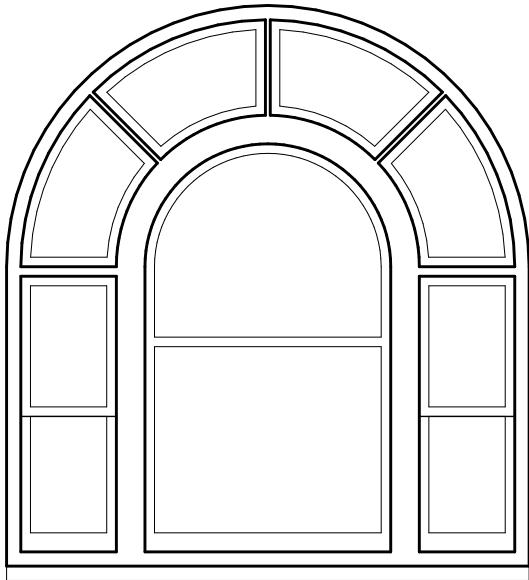
	PROPOSED
MATERIAL	ALUM CLAD WOOD
GLASS TYPE	CLEAR, DOUBLE, LOW-E
FUNCTION	SINGLE HUNG (INOPERABLE), FIXED TRANSOM
TRIM	ALUM
MULLIONS	NONE
TRANSOM BAR	ALUM CLAD WOOD
MUNTINS	NONE
FINISH	SIERRA BRONZE 
COMMENTS	NONE

TYPE: WK




EXISTING - PHOTOGRAPH

	EXISTING
MATERIAL	WOOD
GLASS TYPE	SINGLE, CLEAR
FUNCTION	DOUBLE HUNG (INOPERABLE), FIXED PICTURE
TRIM	WOOD
MULLIONS	WOOD
TRANSOM BAR	WOOD
MUNTINS	WOOD
COMMENTS	DOUBLE HUNG WINDOWS (3) WERE MODIFIED TO MAKE INOPERABLE DURING 1972 RENOVATION



PROPOSED - ELEVATION

	PROPOSED
MATERIAL	WOOD
GLASS TYPE	SINGLE, CLEAR
FUNCTION	DOUBLE HUNG (INOPERABLE), FIXED PICTURE
TRIM	WOOD
MULLIONS	WOOD
TRANSOM BAR	WOOD
MUNTINS	WOOD
FINISH	PAINT TO MATCH SIERRA BRONZE 
COMMENTS	FULL RESTORATION OF EXISTING WINDOW. PROFILE COMPARISON NOT PROVIDED.


WINDOW TYPES - GRAND CENTRAL

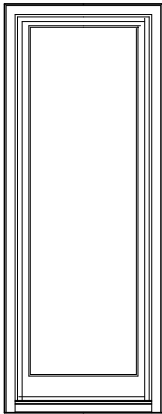
TYPE: WL



EXISTING - PHOTOGRAPH

	EXISTING
MATERIAL	WOOD
GLASS TYPE	SINGLE, CLEAR
FUNCTION	FIXED PICTURE
TRIM	WOOD
MULLIONS	NONE
TRANSOM BAR	NONE
MUNTINS	NONE
COMMENTS	NONE

	PROPOSED
MATERIAL	ALUM CLAD WOOD
GLASS TYPE	CLEAR, DOUBLE, LOW-E
FUNCTION	FIXED PICTURE
TRIM	ALUM
MULLIONS	NONE
TRANSOM BAR	NONE
MUNTINS	NONE
FINISH	SIERRA BRONZE 
COMMENTS	NONE




PROPOSED - ELEVATION

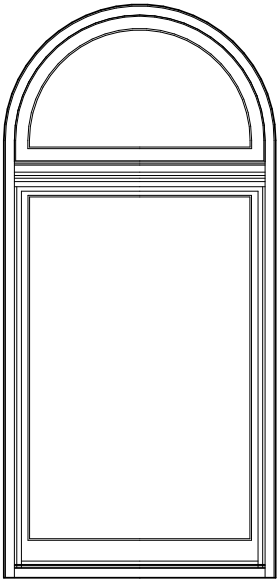
TYPE: WM



EXISTING - PHOTOGRAPH

	EXISTING
MATERIAL	WOOD
GLASS TYPE	SINGLE, CLEAR
FUNCTION	FIXED PICTURE, FIXED TRANSOM
TRIM	WOOD
MULLIONS	NONE
TRANSOM BAR	WOOD
MUNTINS	NONE
COMMENTS	NONE

	PROPOSED
MATERIAL	ALUM CLAD WOOD
GLASS TYPE	CLEAR, DOUBLE, LOW-E
FUNCTION	FIXED PICTURE, FIXED TRANSOM
TRIM	ALUM
MULLIONS	NONE
TRANSOM BAR	ALUM CLAD WOOD
MUNTINS	NONE
FINISH	SIERRA BRONZE 
COMMENTS	NONE



PROPOSED - ELEVATION

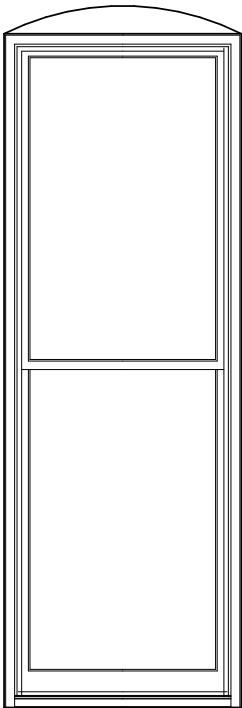
WINDOW TYPES - GRAND CENTRAL

TYPE: WN




EXISTING - PHOTOGRAPH

	EXISTING
MATERIAL	WOOD
GLASS TYPE	SINGLE, CLEAR
FUNCTION	FIXED PICTURE
TRIM	WOOD
MULLIONS	NONE
TRANSOM BAR	NONE
MUNTINS	WOOD
COMMENTS	NONE



PROPOSED - ELEVATION

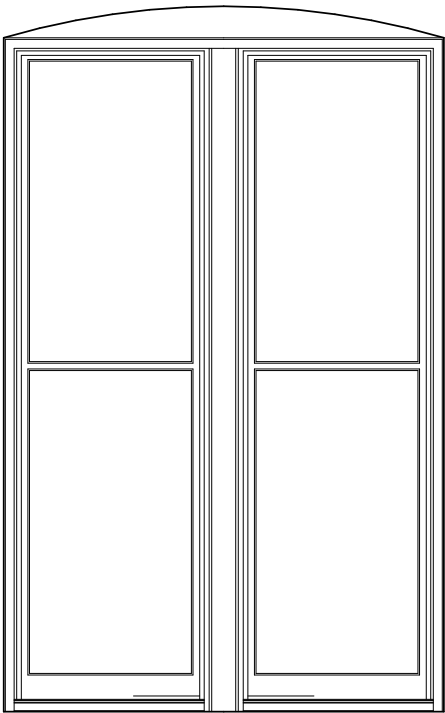
	PROPOSED
MATERIAL	ALUM CLAD WOOD
GLASS TYPE	CLEAR, DOUBLE, LOW-E
FUNCTION	SINGLE HUNG (INOPERABLE)
TRIM	ALUM
MULLIONS	NONE
TRANSOM BAR	NONE
MUNTINS	NONE
FINISH	SIERRA BRONZE 
COMMENTS	NONE

TYPE: WP




EXISTING - PHOTOGRAPH

	EXISTING
MATERIAL	WOOD
GLASS TYPE	SINGLE, CLEAR
FUNCTION	FIXED PICTURE
TRIM	WOOD
MULLIONS	NONE
TRANSOM BAR	NONE
MUNTINS	WOOD
COMMENTS	NONE



PROPOSED - ELEVATION

	PROPOSED
MATERIAL	ALUM CLAD WOOD
GLASS TYPE	CLEAR, DOUBLE, LOW-E
FUNCTION	FIXED PICTURE
TRIM	ALUM
MULLIONS	ALUM CLAD
TRANSOM BAR	NONE
MUNTINS	ALUM CLAD WOOD FDL
FINISH	SIERRA BRONZE 
COMMENTS	NONE

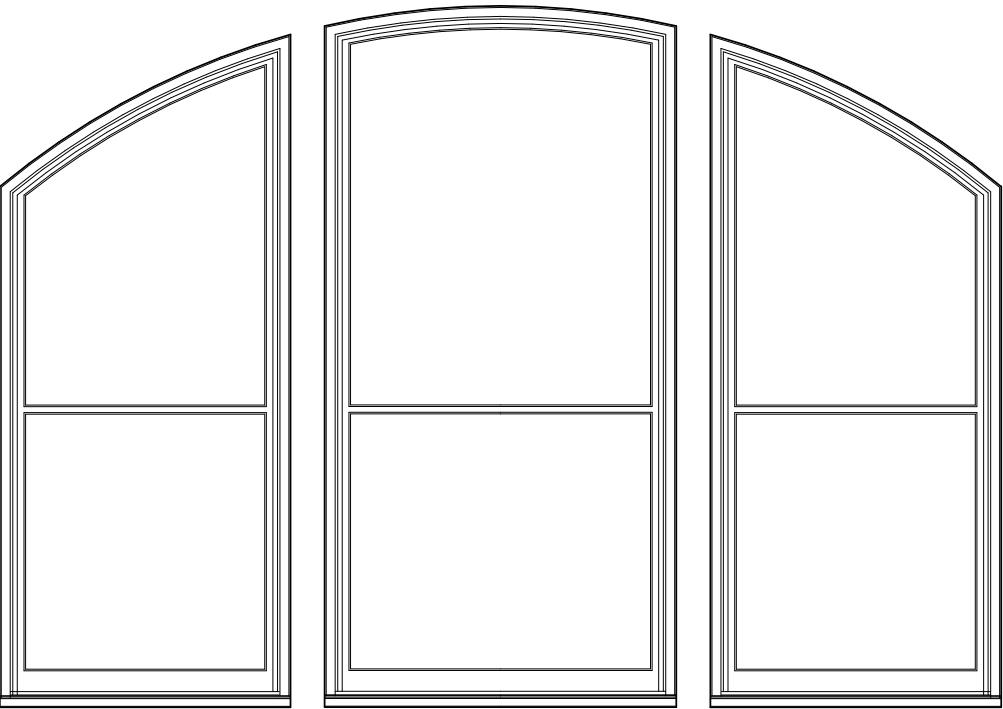
WINDOW TYPES - GRAND CENTRAL

TYPE: WQ




EXISTING - PHOTOGRAPH

	EXISTING
MATERIAL	WOOD
GLASS TYPE	SINGLE, CLEAR
FUNCTION	FIXED PICTURE
TRIM	WOOD
MULLIONS	NONE
TRANSOM BAR	NONE
MUNTINS	WOOD
COMMENTS	NONE



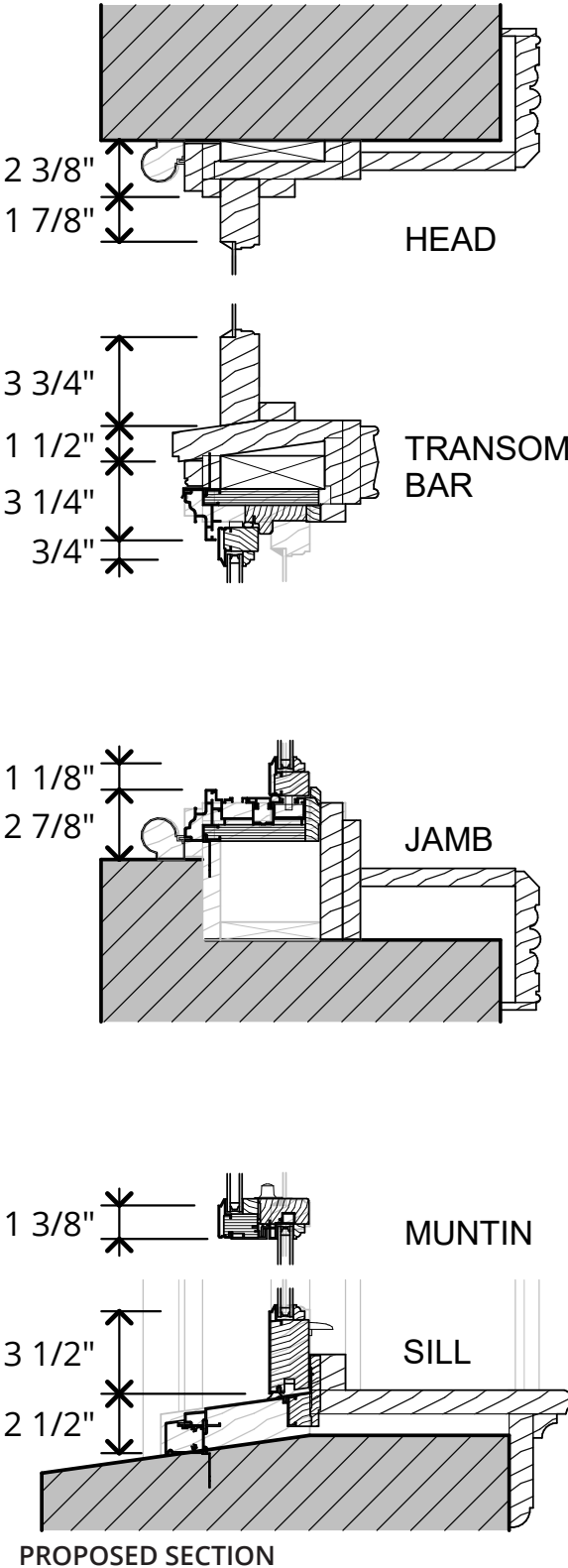
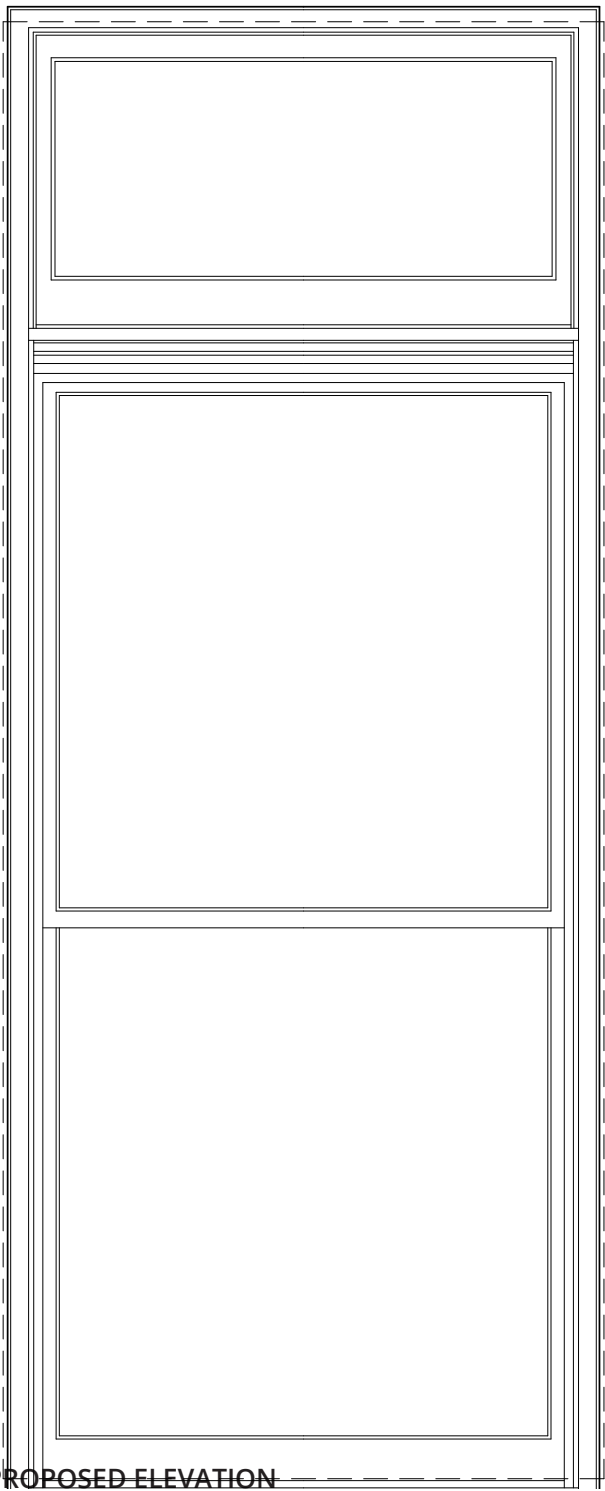
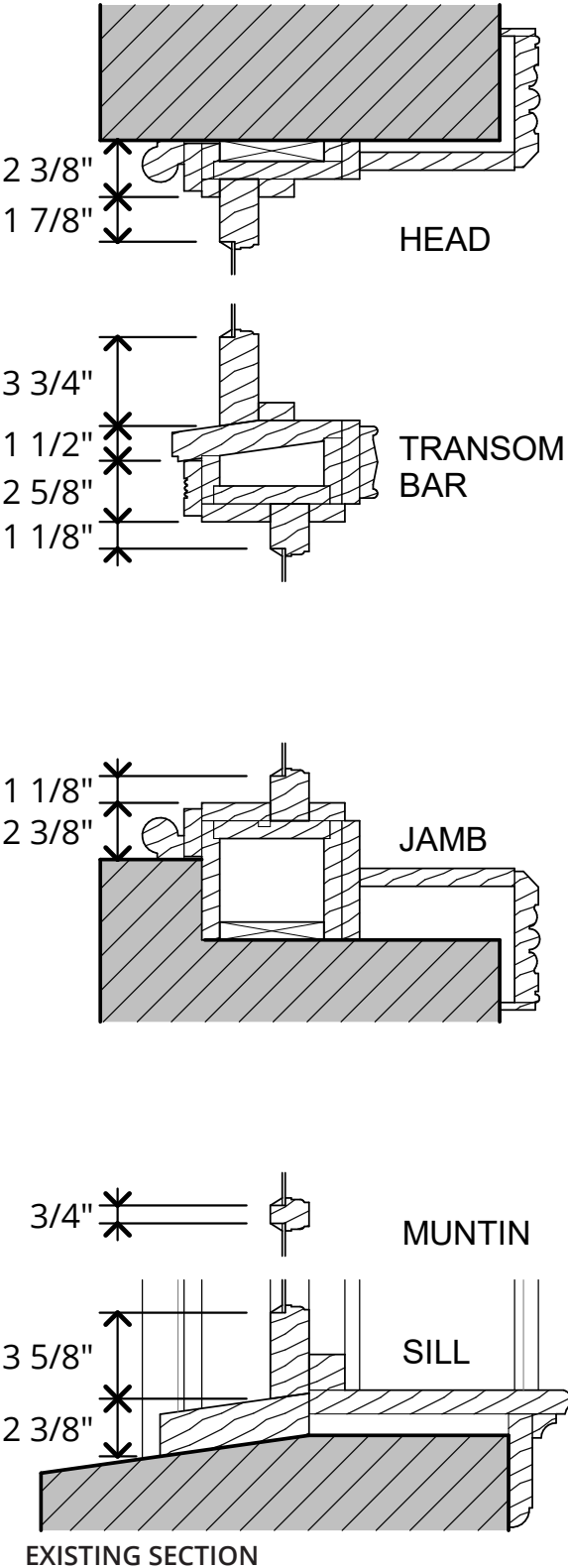
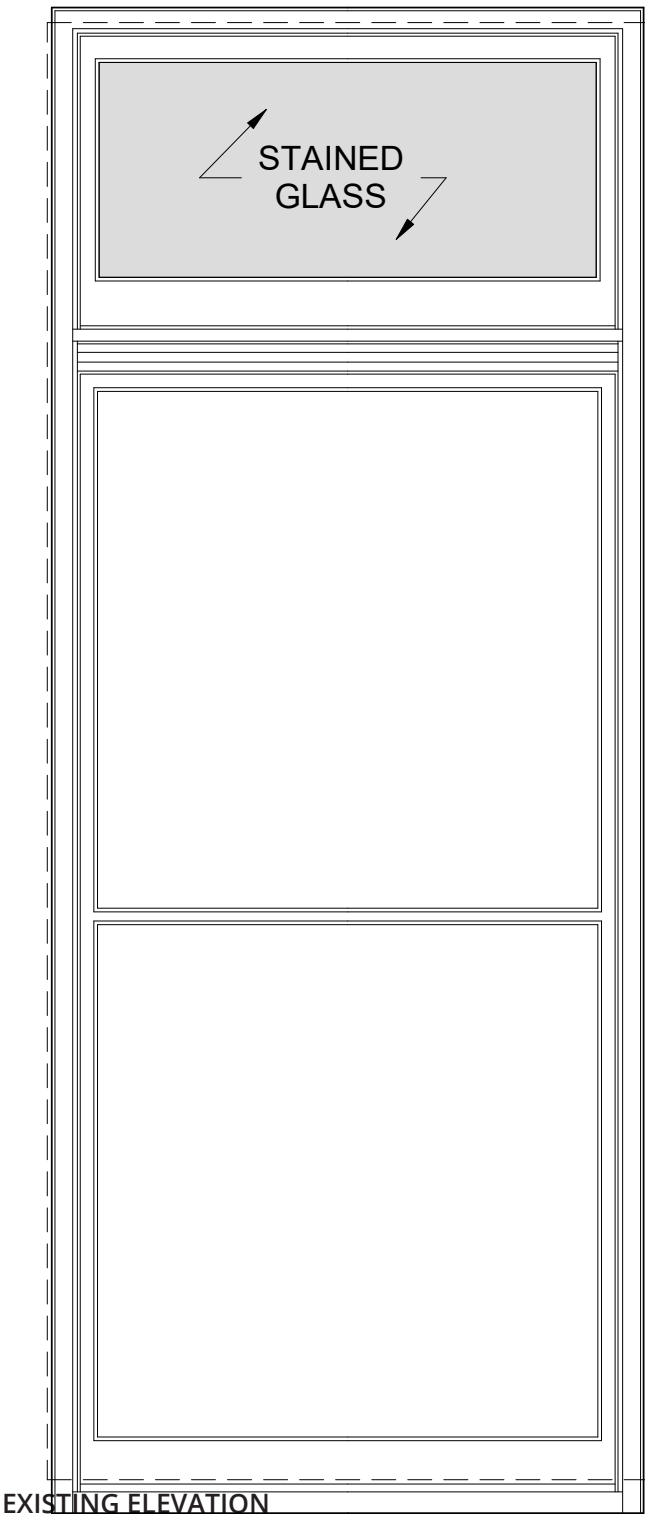
PROPOSED - ELEVATION

	PROPOSED
MATERIAL	ALUM CLAD WOOD
GLASS TYPE	CLEAR, DOUBLE, LOW-E
FUNCTION	FIXED PICTURE
TRIM	ALUM
MULLIONS	WOOD (RESTORE)
TRANSOM BAR	NONE
MUNTINS	ALUM CLAD WOOD FDL
FINISH	SIERRA BRONZE 
COMMENTS	NONE

WINDOW TYPES - GRAND CENTRAL

CLARK
BARNES

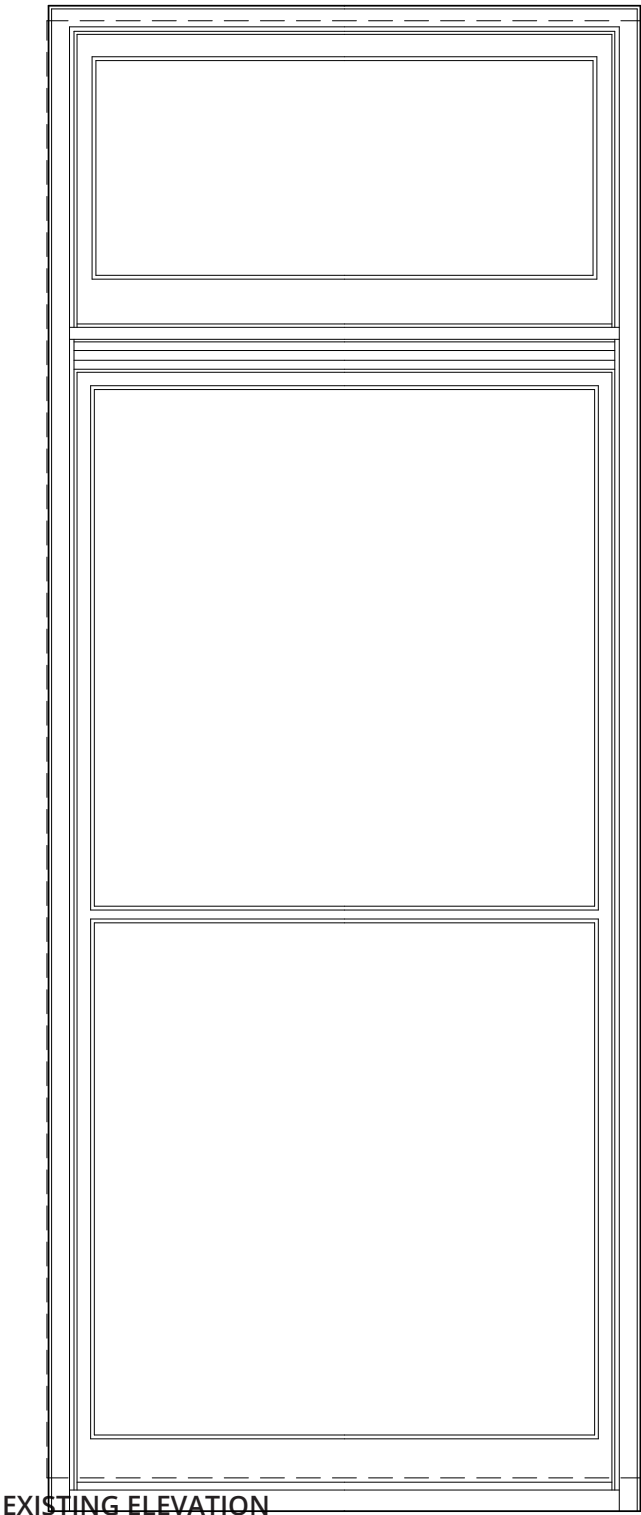
TYPE: WE



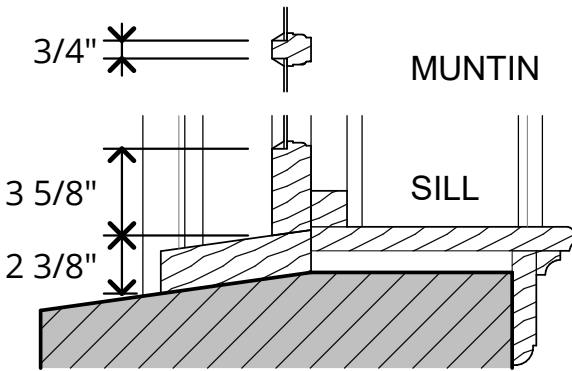
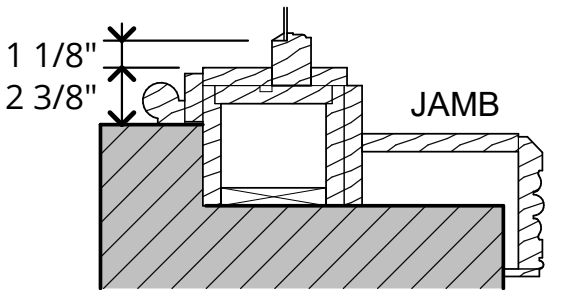
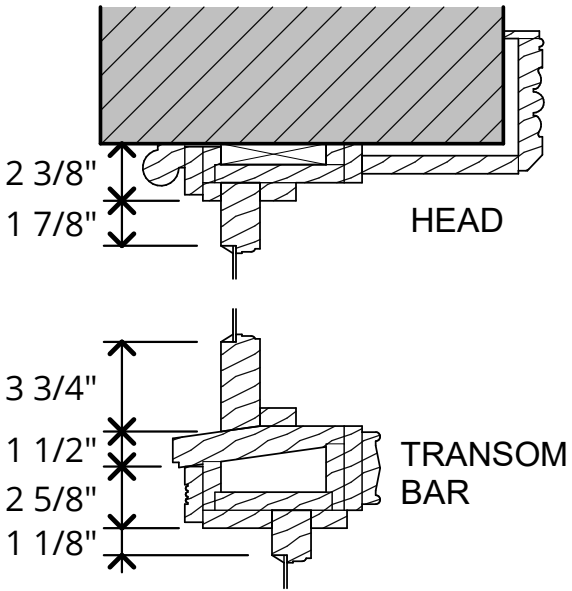
WINDOW TYPES - GRAND CENTRAL

CLARK
BARNES

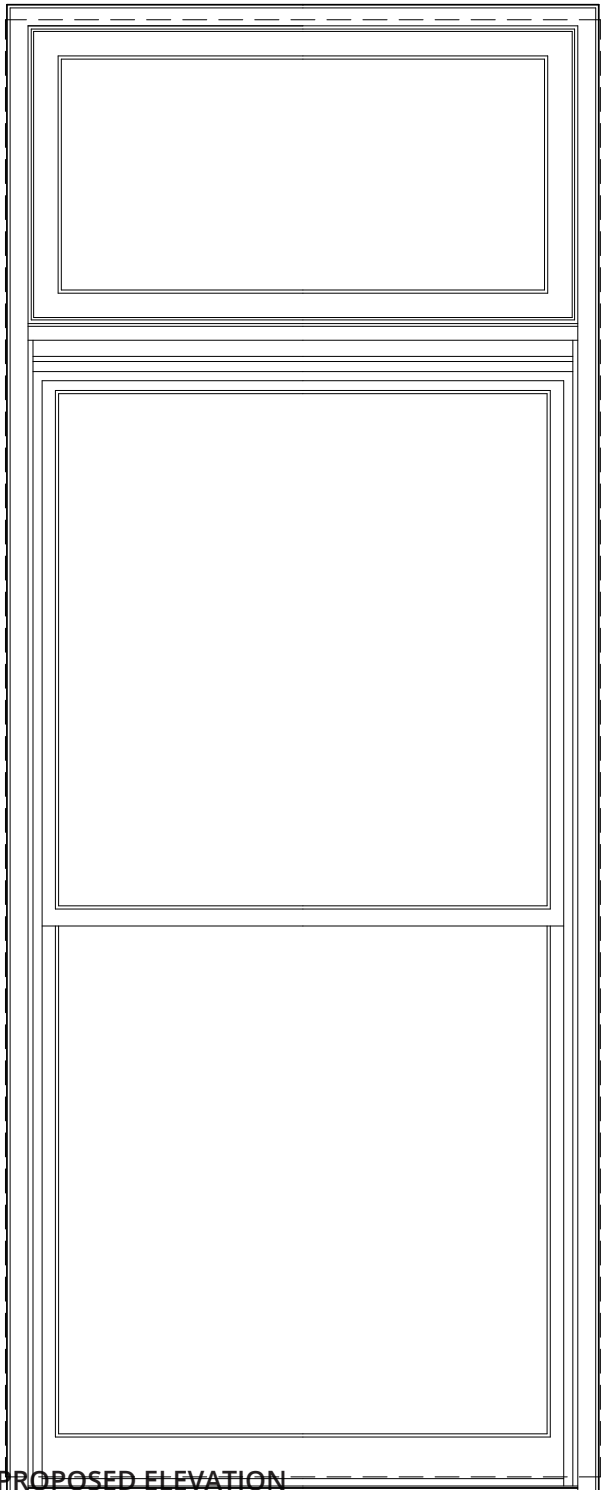
TYPE: WF



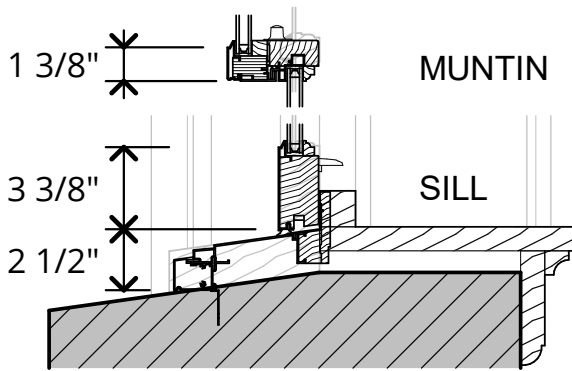
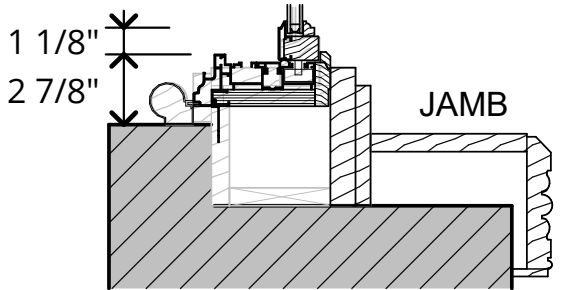
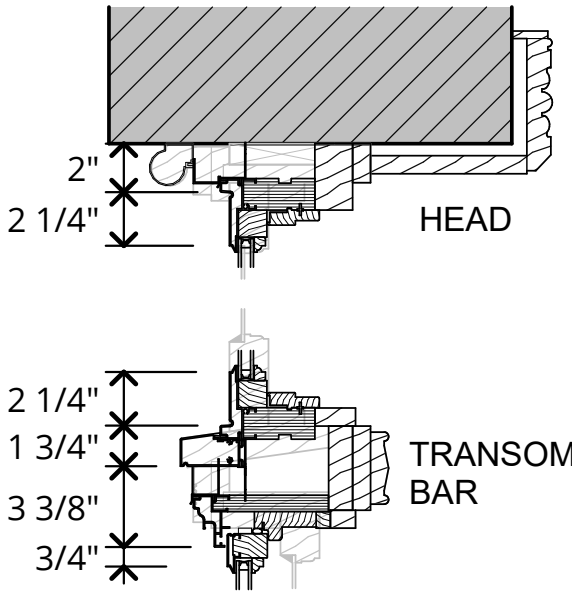
EXISTING ELEVATION



EXISTING SECTION



PROPOSED ELEVATION

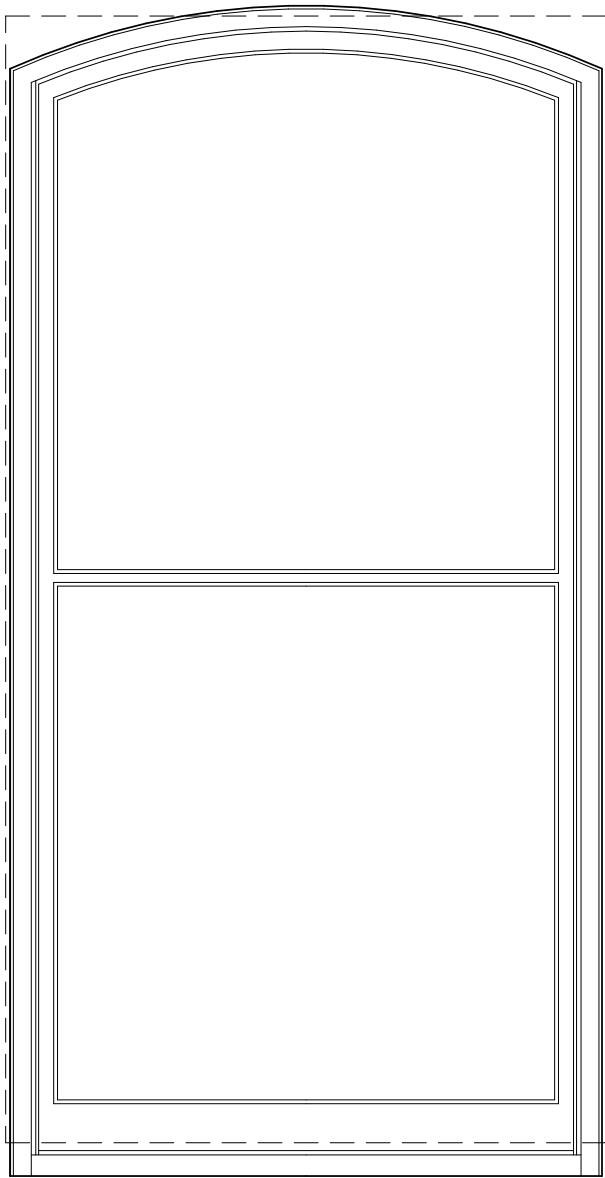


PROPOSED SECTION

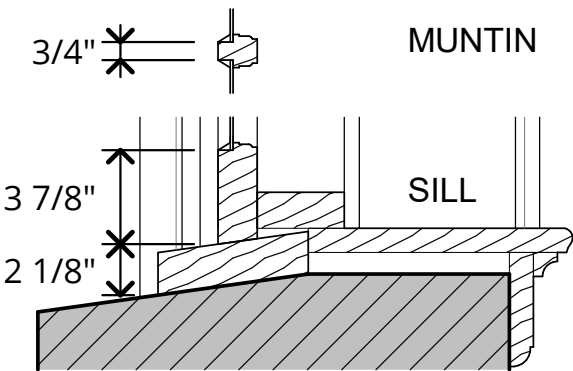
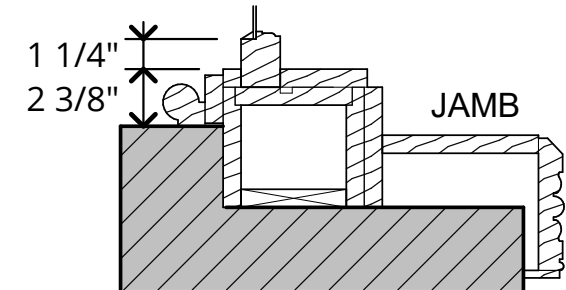
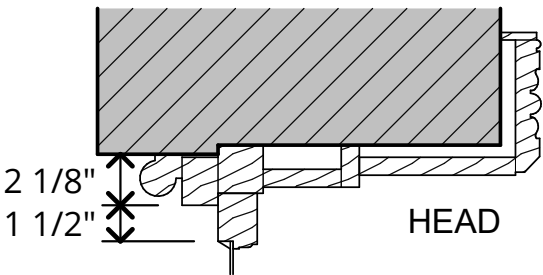
WINDOW TYPES - GRAND CENTRAL

CLARK
BARNES

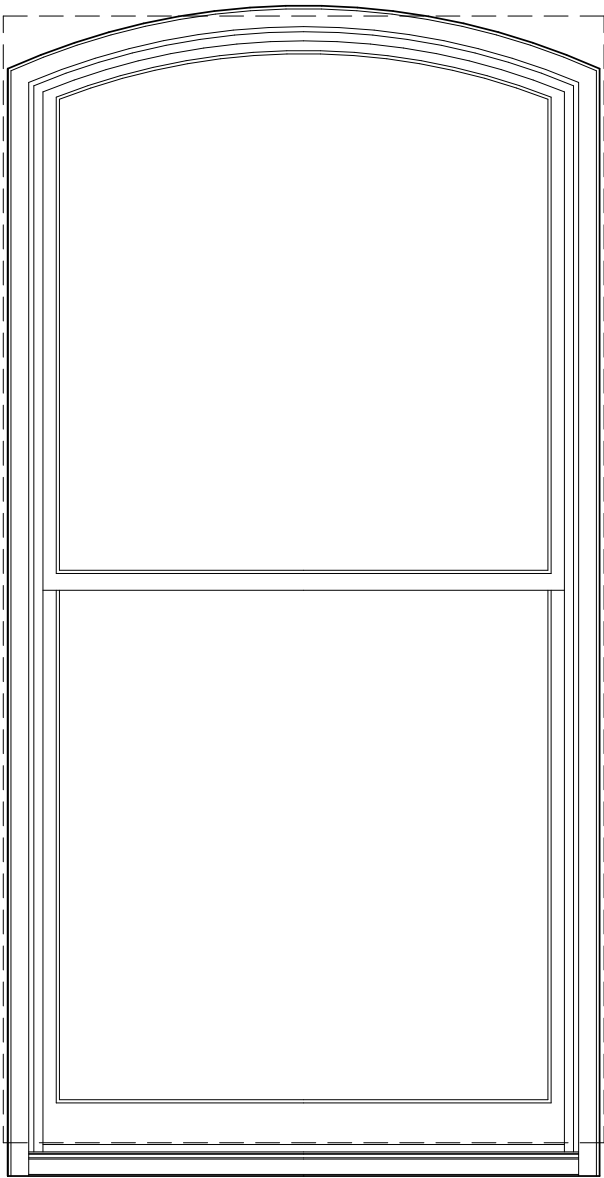
TYPE: WH



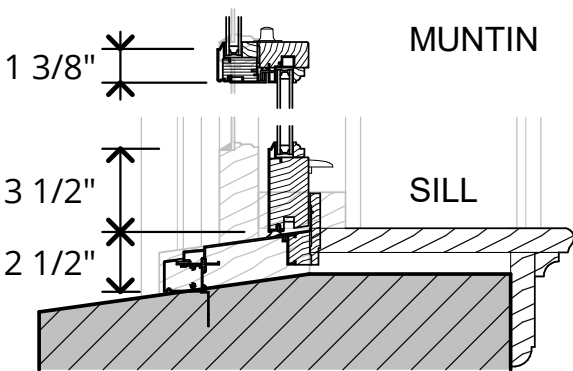
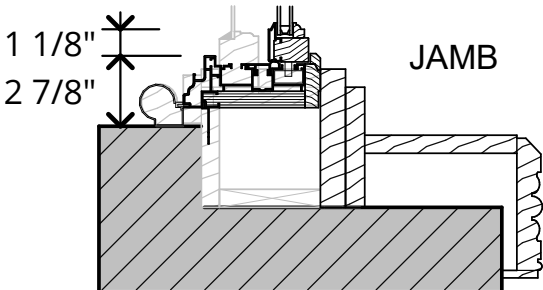
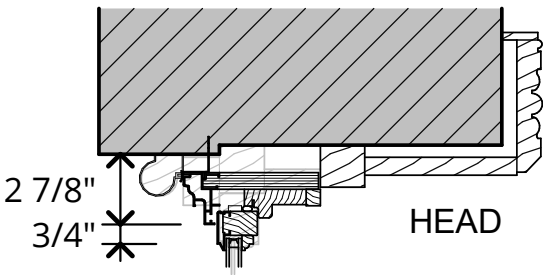
EXISTING ELEVATION



EXISTING SECTION



PROPOSED ELEVATION

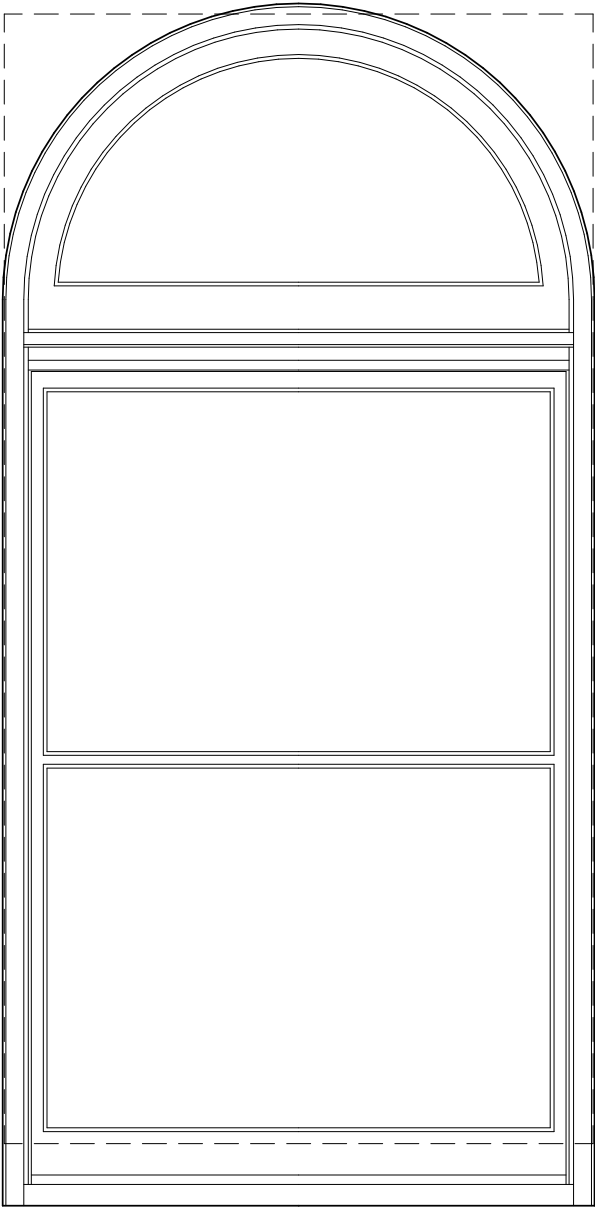


PROPOSED SECTION

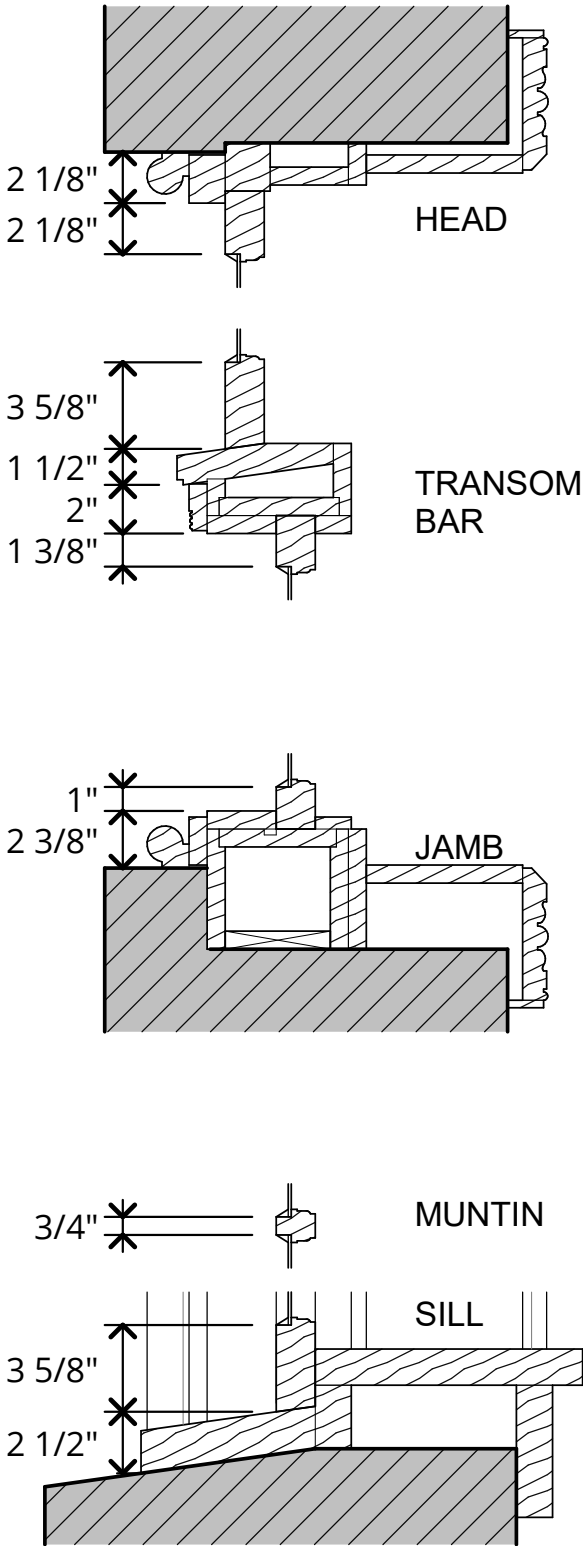
WINDOW TYPES - GRAND CENTRAL

CLARK
BARNES

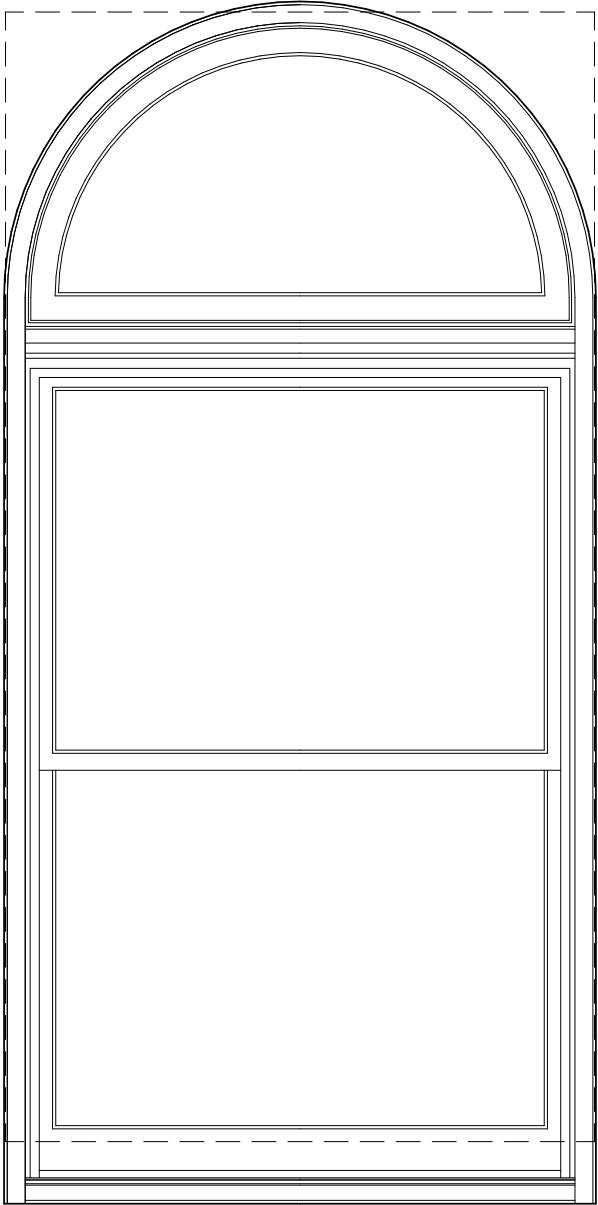
TYPE: WJ



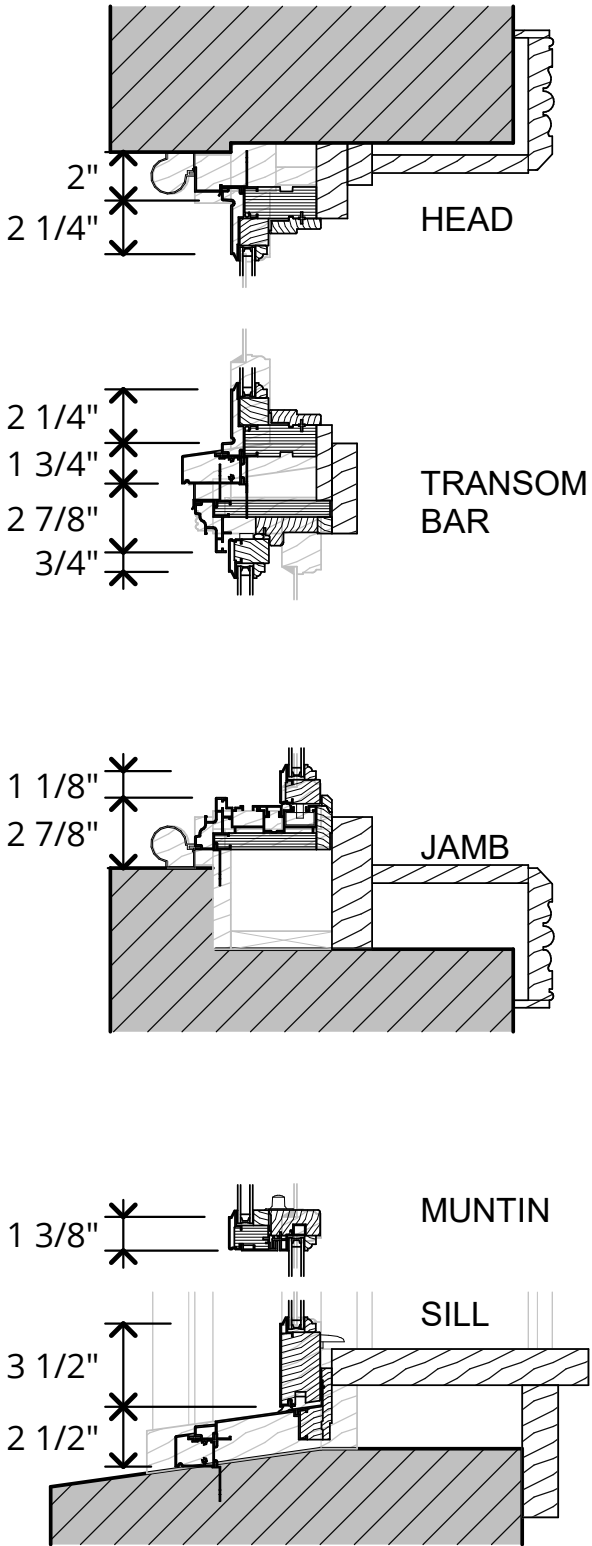
EXISTING ELEVATION



EXISTING SECTION



PROPOSED ELEVATION

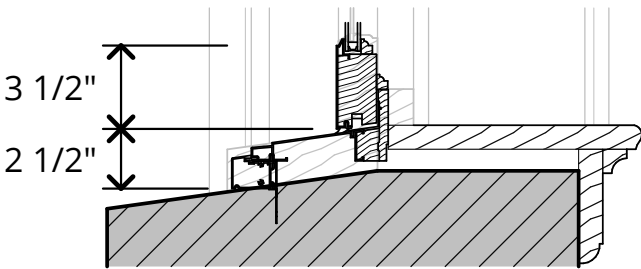
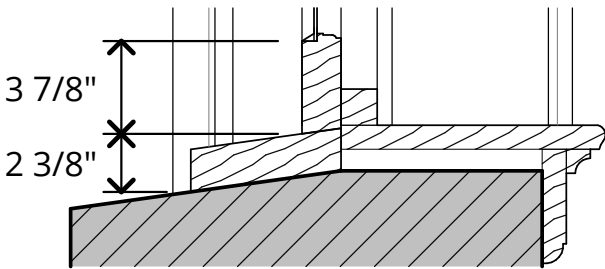
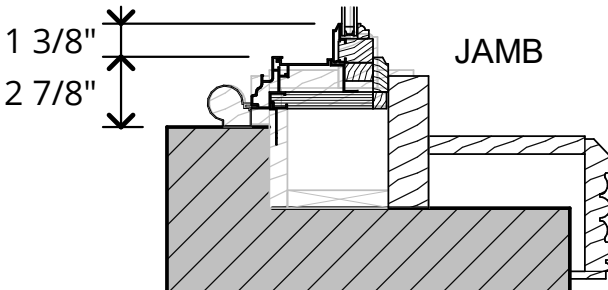
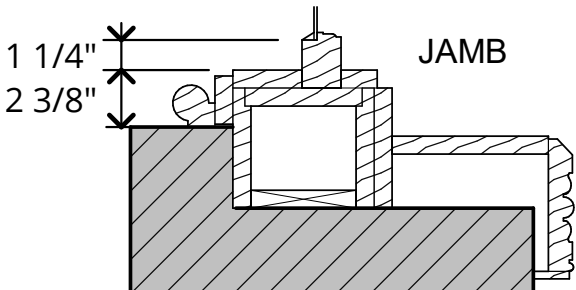
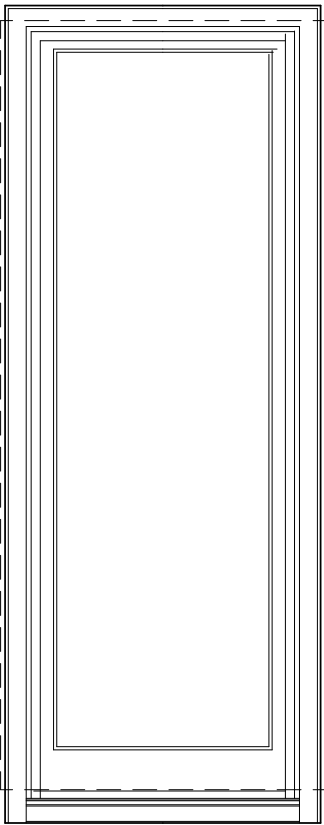
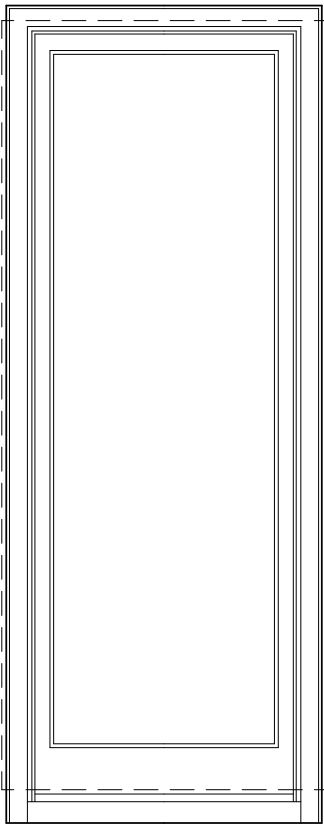
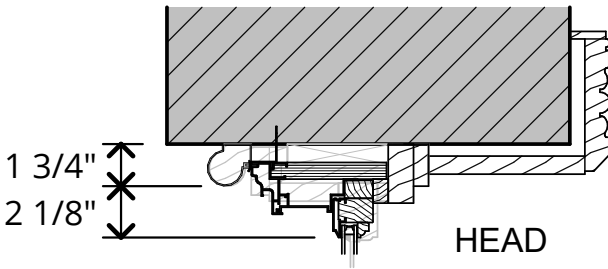
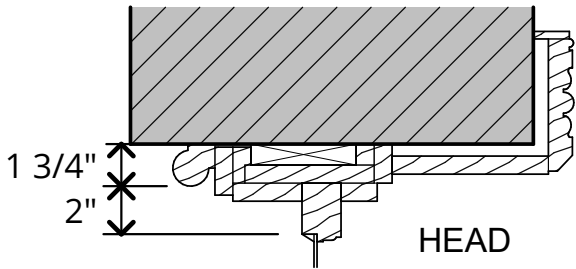


PROPOSED SECTION

WINDOW TYPES - GRAND CENTRAL

CLARK
BARNES

TYPE: WL



EXISTING ELEVATION

EXISTING SECTION

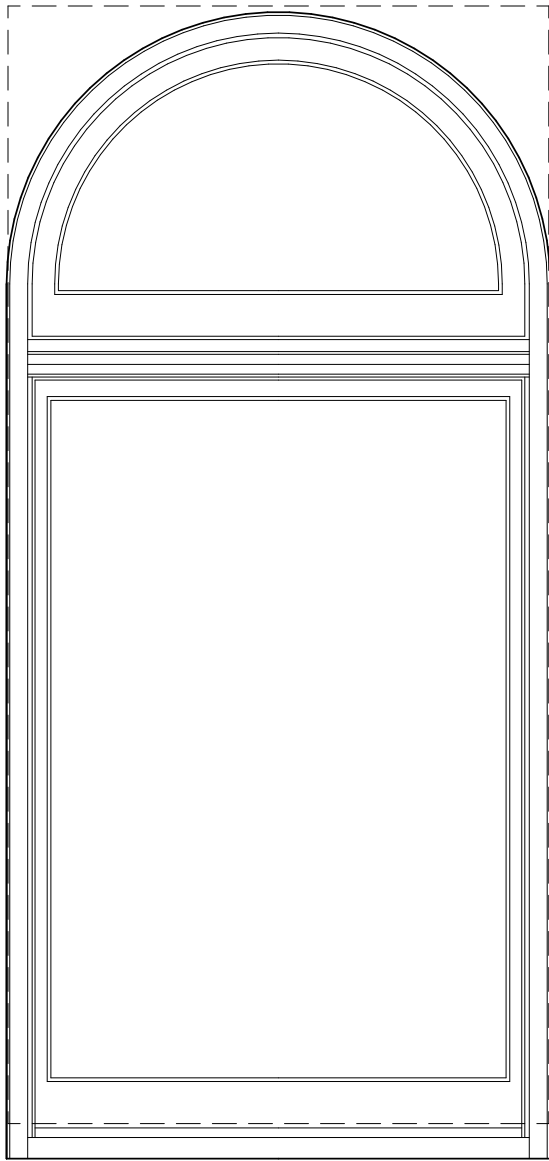
PROPOSED ELEVATION

PROPOSED SECTION

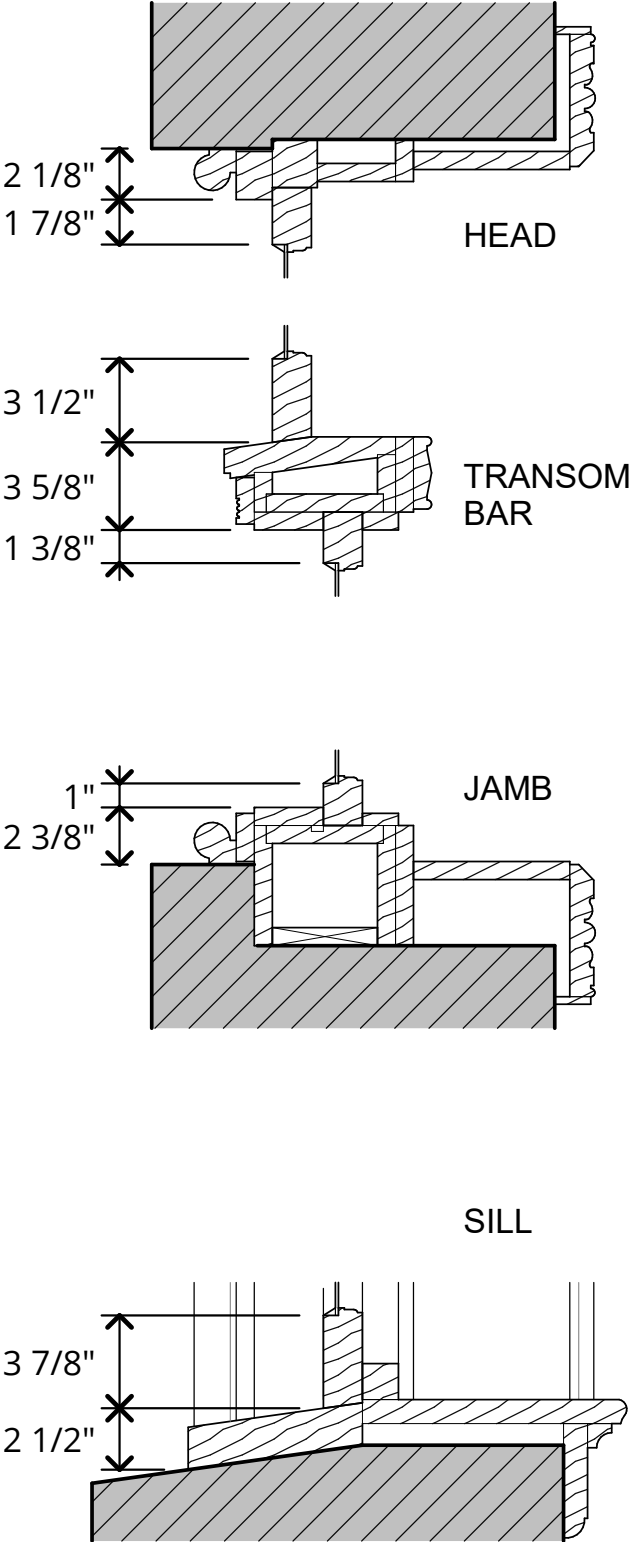
WINDOW TYPES - GRAND CENTRAL

CLARK
BARNES

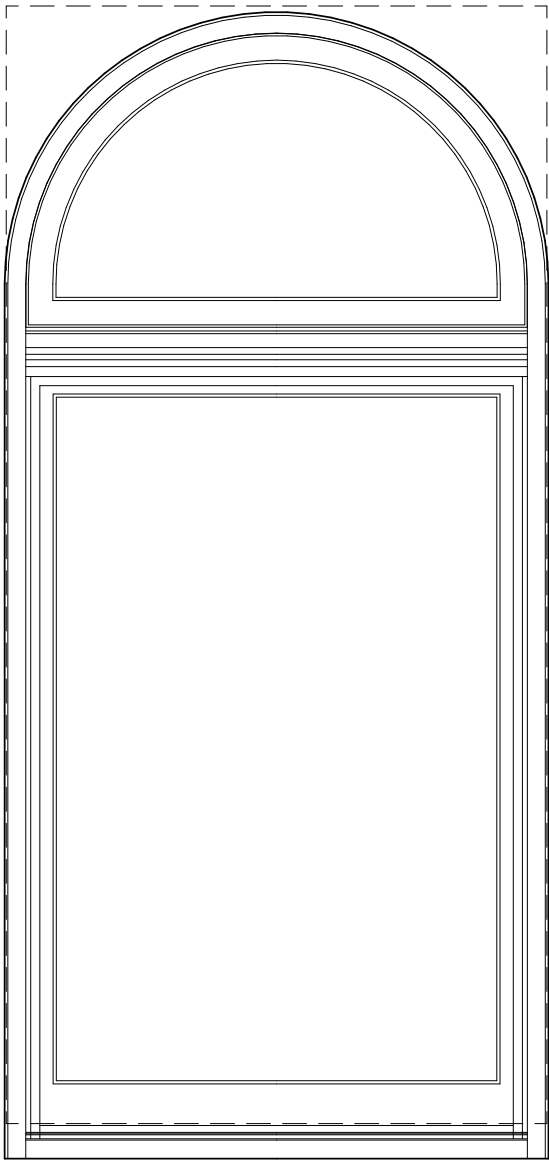
TYPE: WM



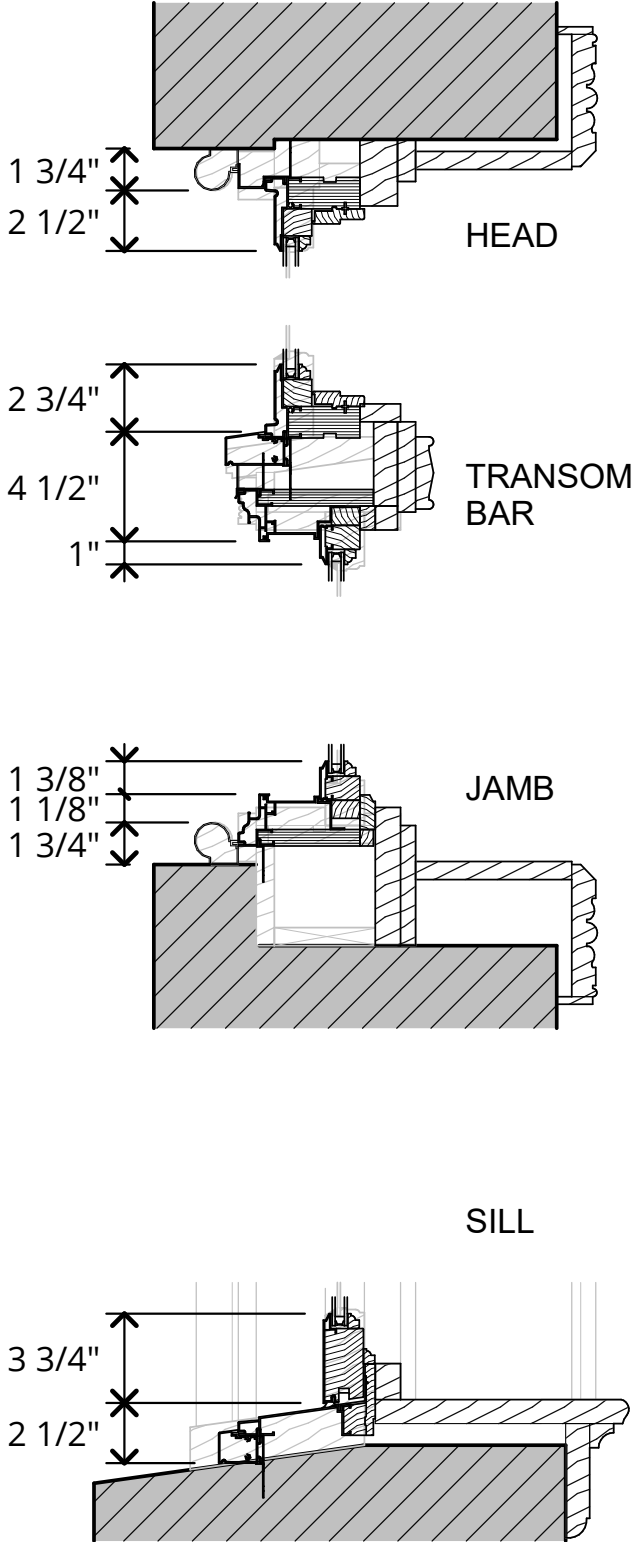
EXISTING ELEVATION



EXISTING SECTION



PROPOSED ELEVATION

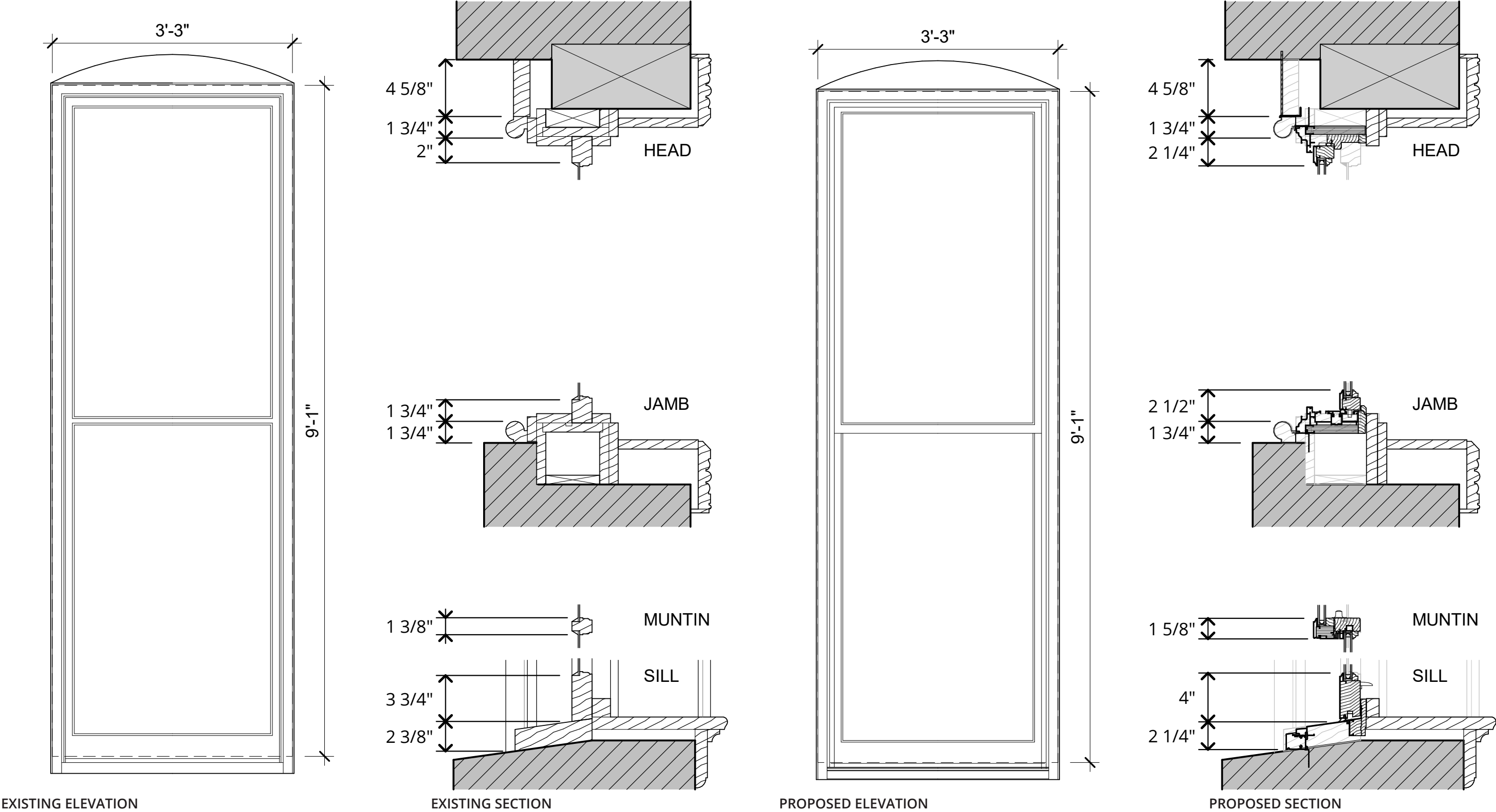


PROPOSED SECTION

WINDOW TYPES - GRAND CENTRAL

CLARK
BARNES

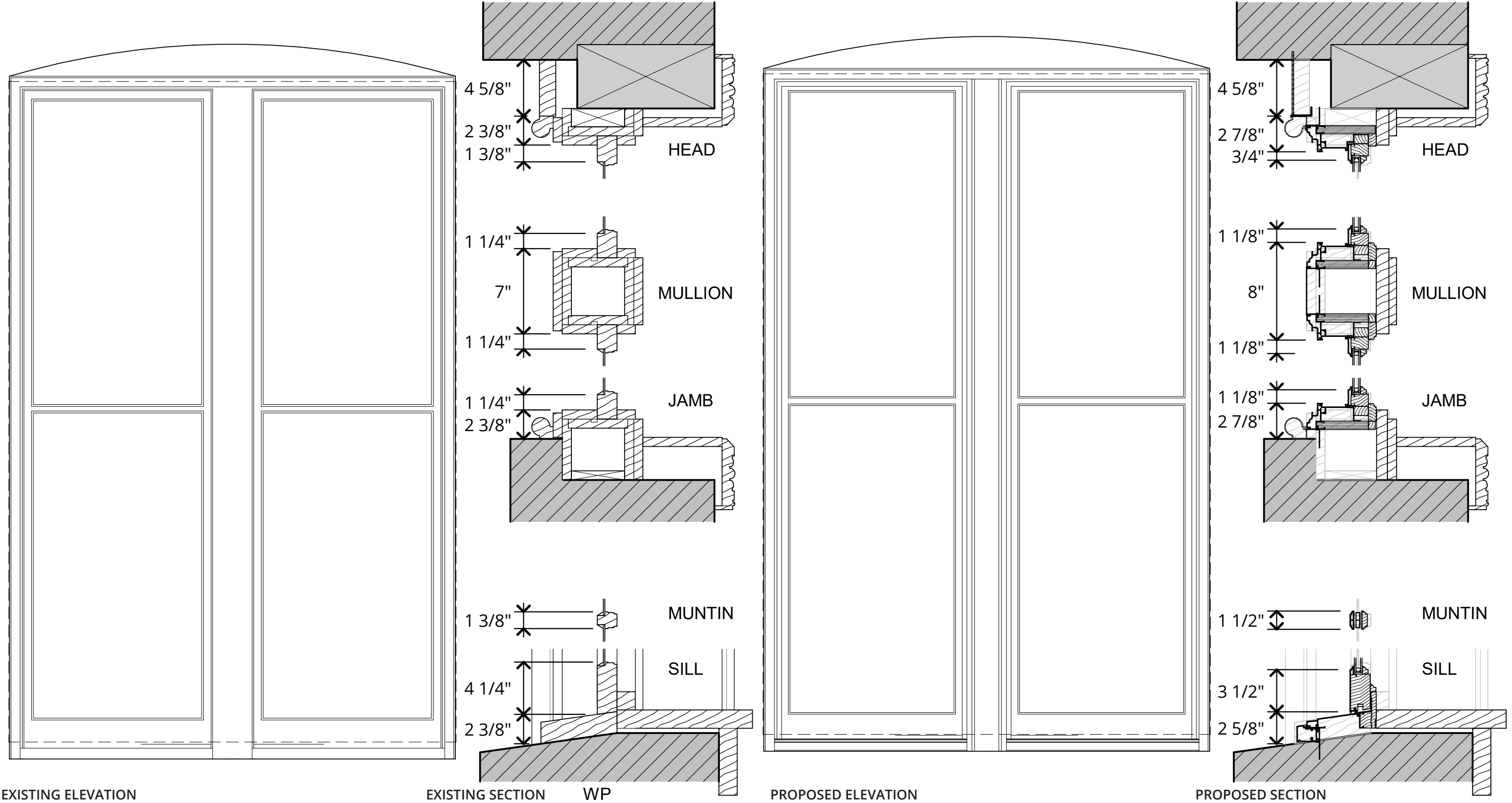
TYPE: WN



WINDOW TYPES - GRAND CENTRAL

CLARK
BARNES

TYPE: WP



EXISTING ELEVATION

EXISTING SECTION WP

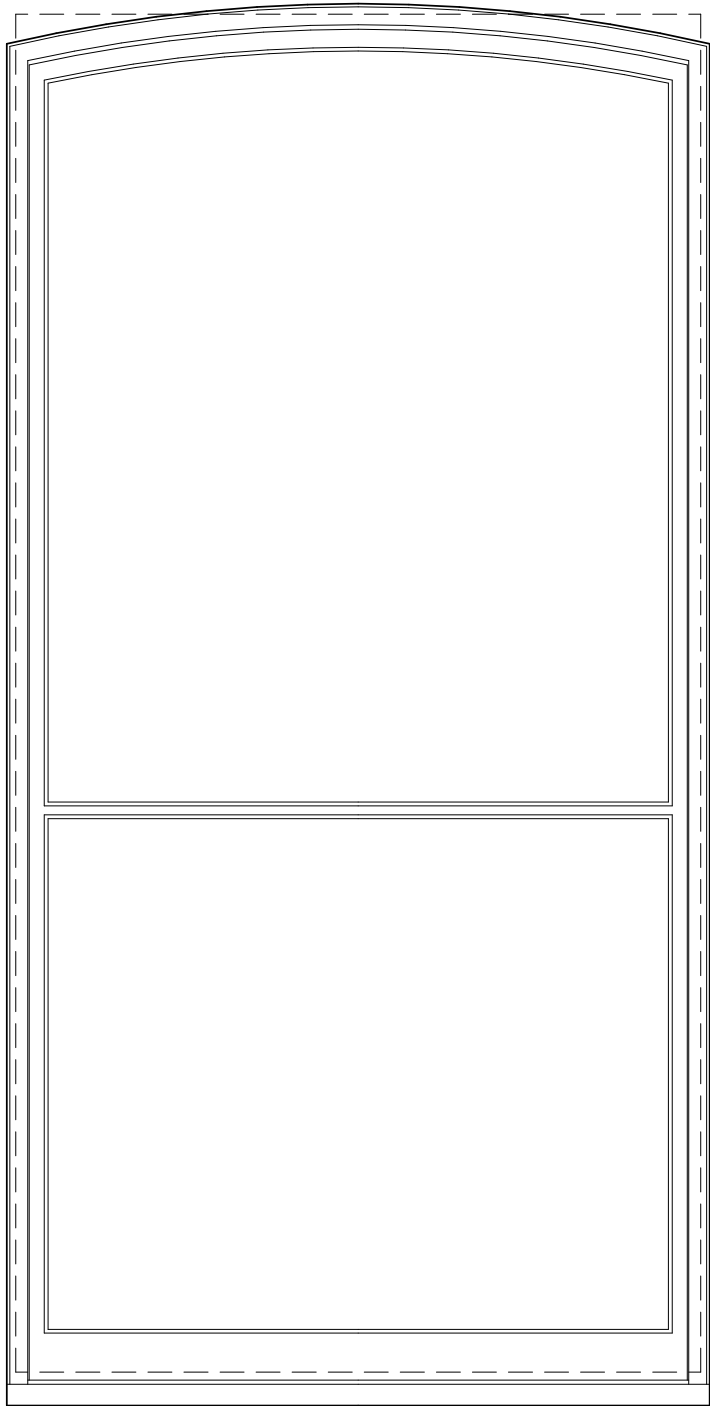
PROPOSED ELEVATION

PROPOSED SECTION

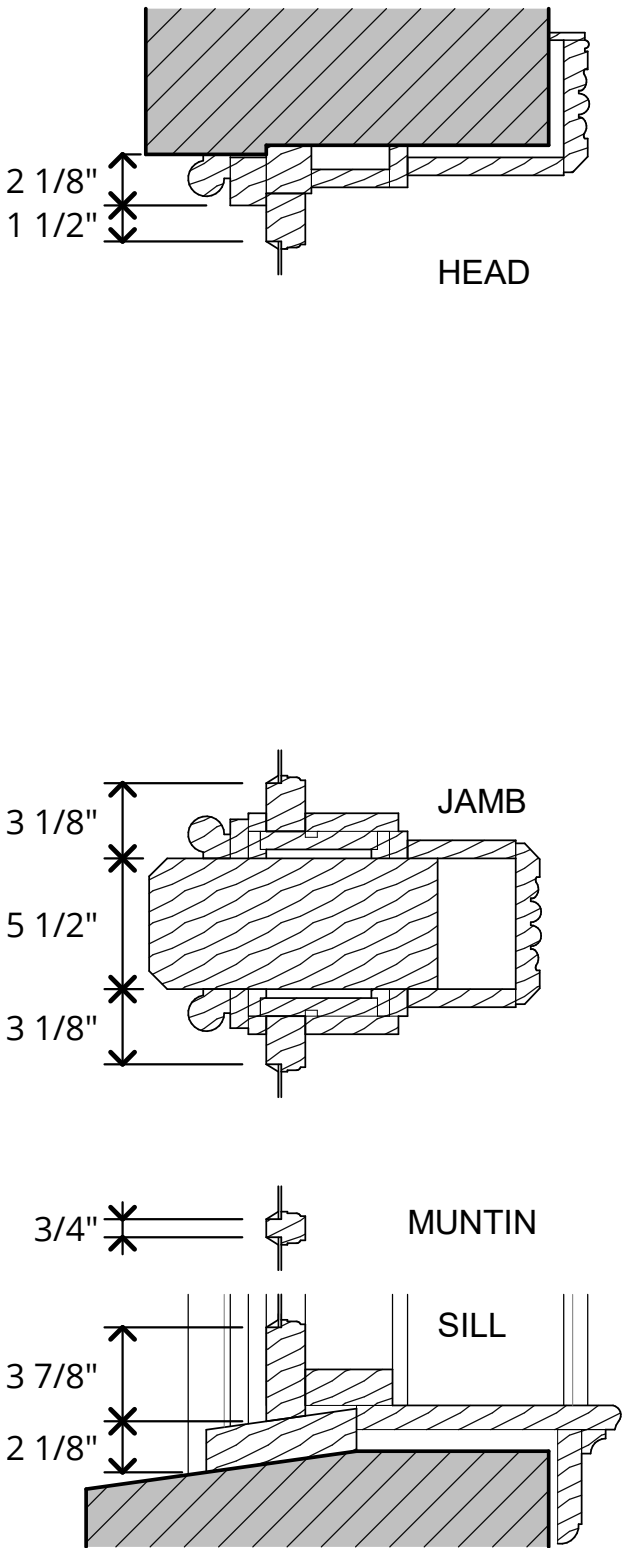
WINDOW TYPES - GRAND CENTRAL

CLARK
BARNES

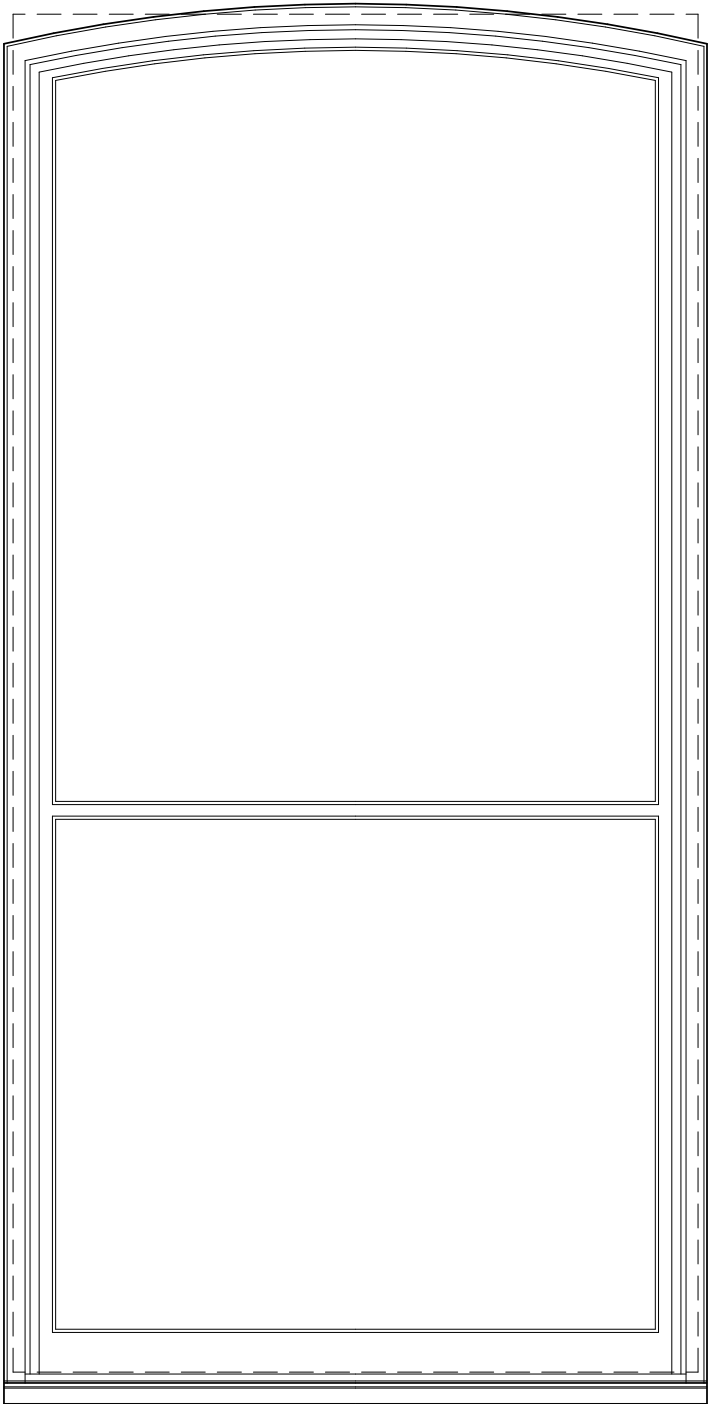
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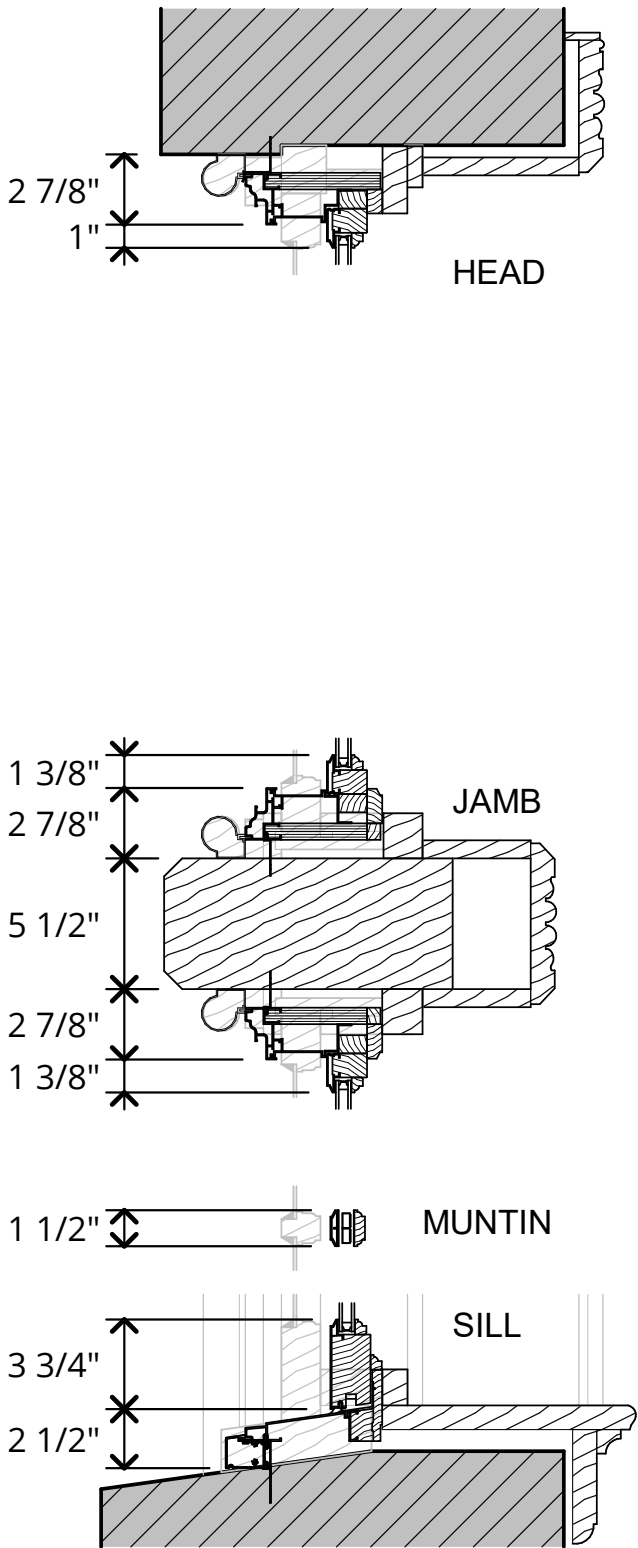
EXISTING ELEVATION



EXISTING SECTION



PROPOSED ELEVATION

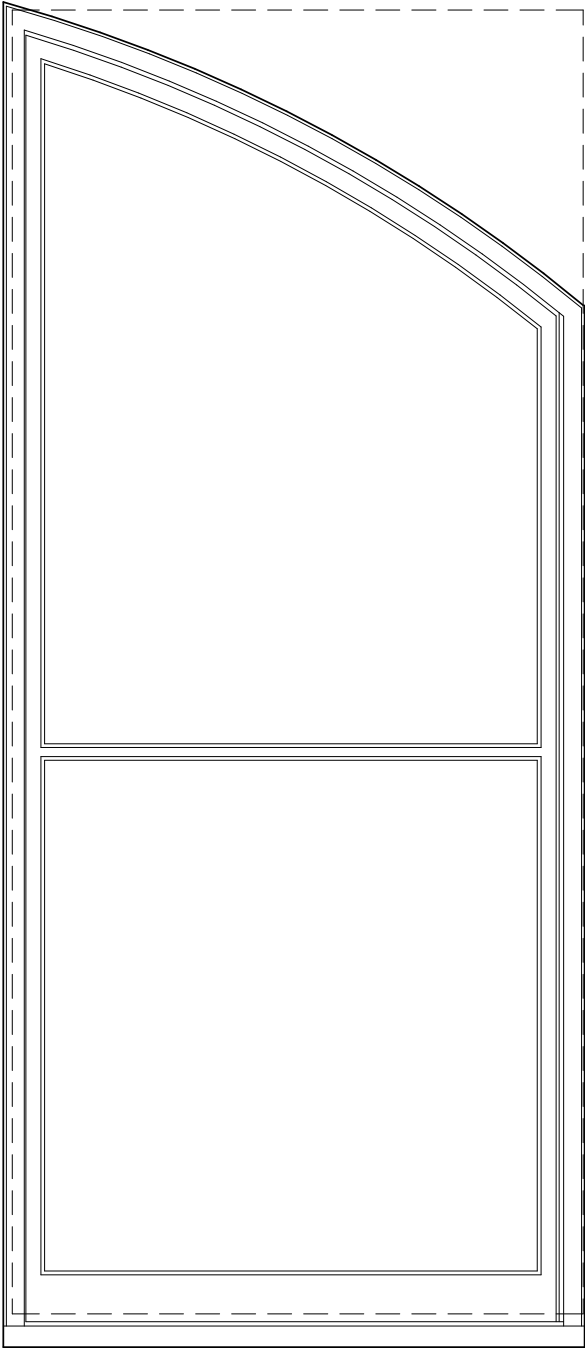


PROPOSED SECTION

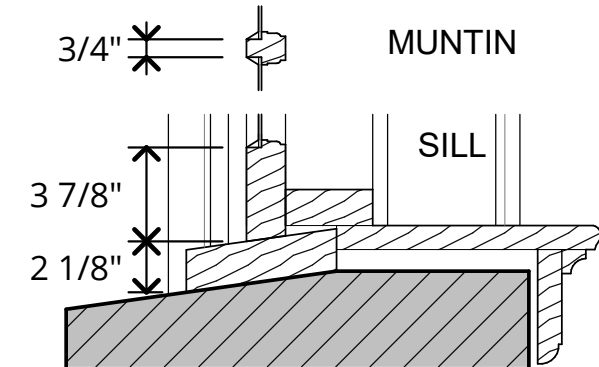
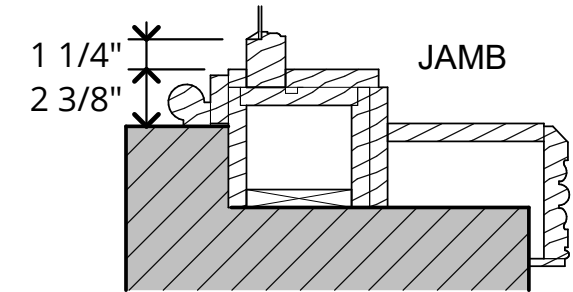
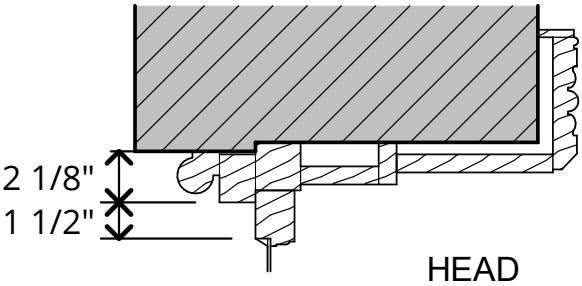
WINDOW TYPES - GRAND CENTRAL

CLARK
BARNES

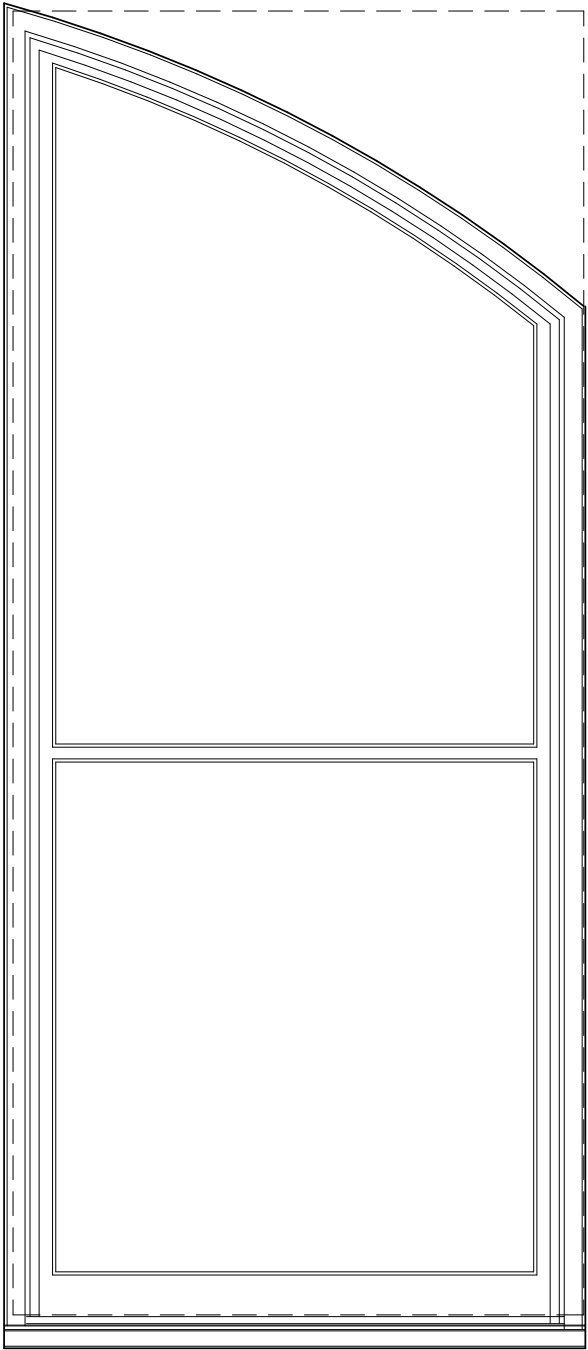
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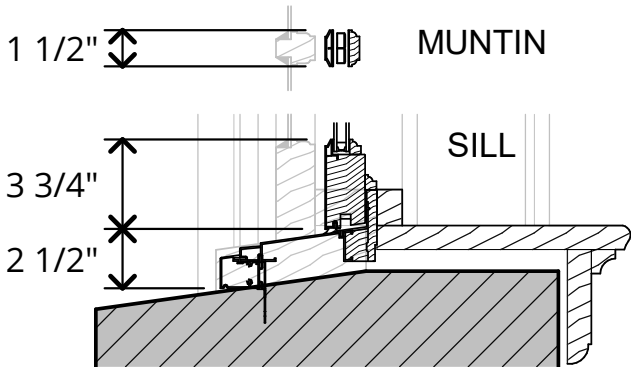
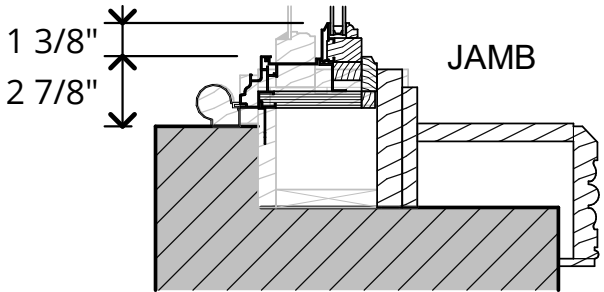
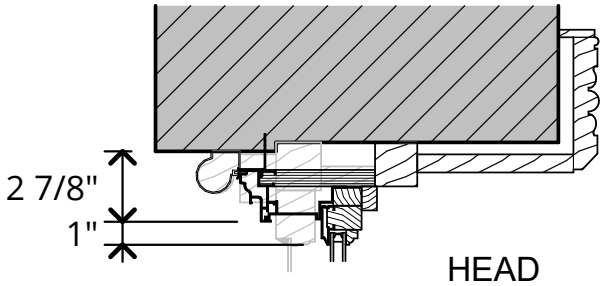
EXISTING ELEVATION



EXISTING SECTION

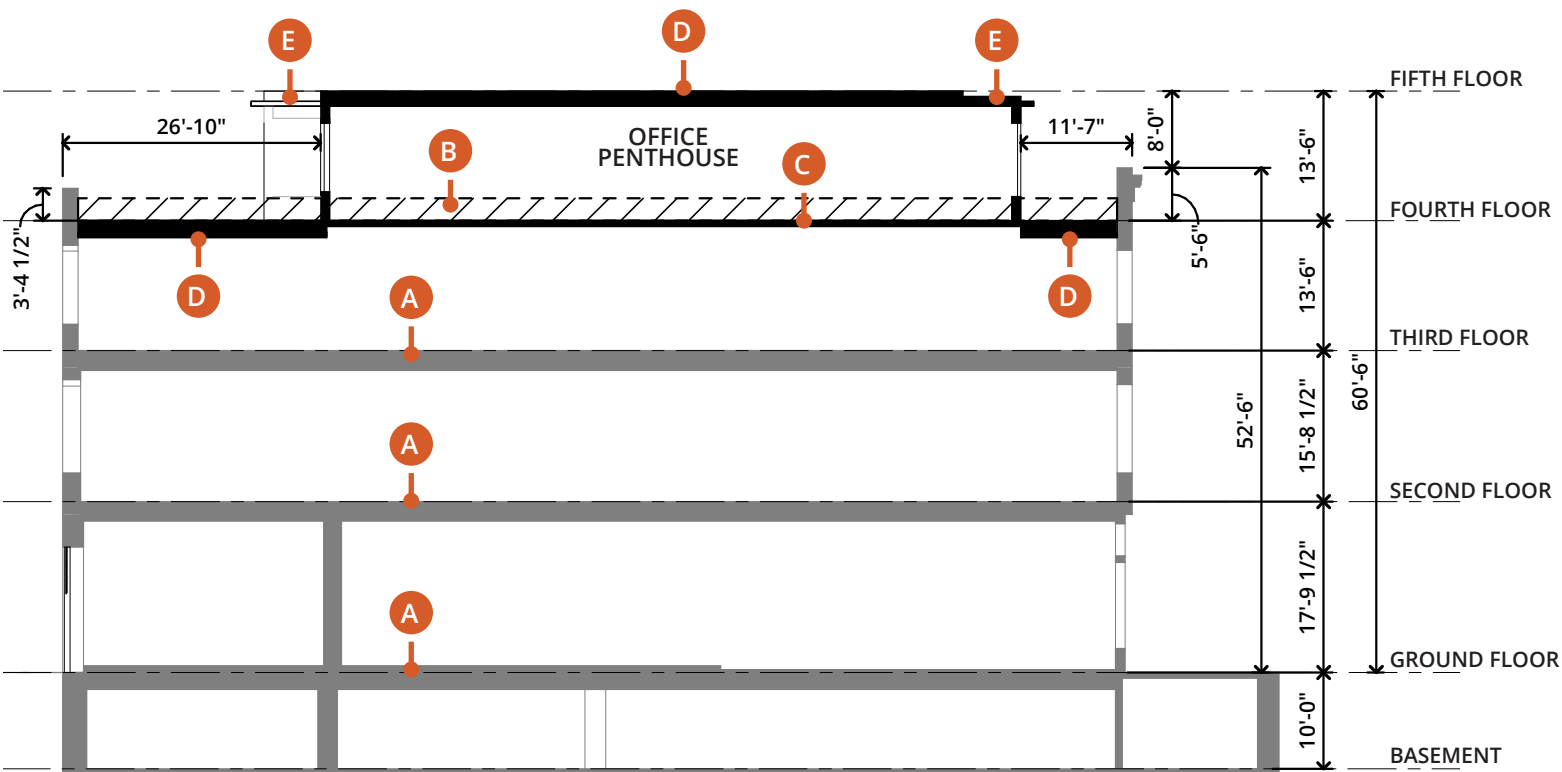


PROPOSED ELEVATION



PROPOSED SECTION

PENTHOUSE SECTION - BUTTNICK



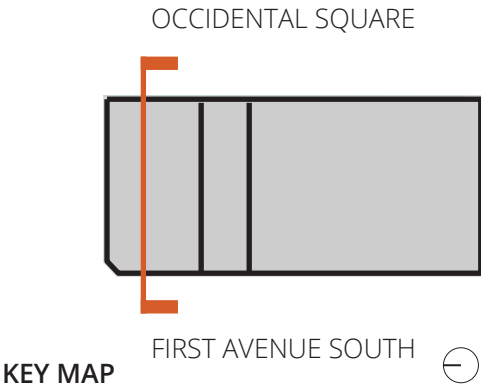
NOTES

1. Bottom of existing roof deck is lowered approximately 7 inches.
2. Existing roof deck is not designed to support floor loads. A new structural system is required.
3. Existing roof structure is exposed heavy timber with exposed wood decking.
4. New penthouse floor structure is exposed mass timber beams and decking. Mass timber is the modern equivalent of heavy timber. Mass timber provides large solid wood members with a positive environmental impact of carbon sequestration. See photo.
5. Heavy timber from the roof will be salvaged and re-used at infill locations on the floors below.
6. Edges of penthouse align with and will be supported on the existing columns below.
7. Basement and second floor ceilings are exposed heavy timber floor structure and will remain. Ground floor ceiling is not currently exposed.
8. The top of the Buttnick penthouse is only 8'-0" above the existing parapet. This complies with the 12 foot office penthouse height limit in SMC 23.66.140.C.4.f.

BUTTNICK

KEYNOTES

- A Existing floor location
- B Existing roof location
- C New penthouse floor
- D New roof deck
- E New roof

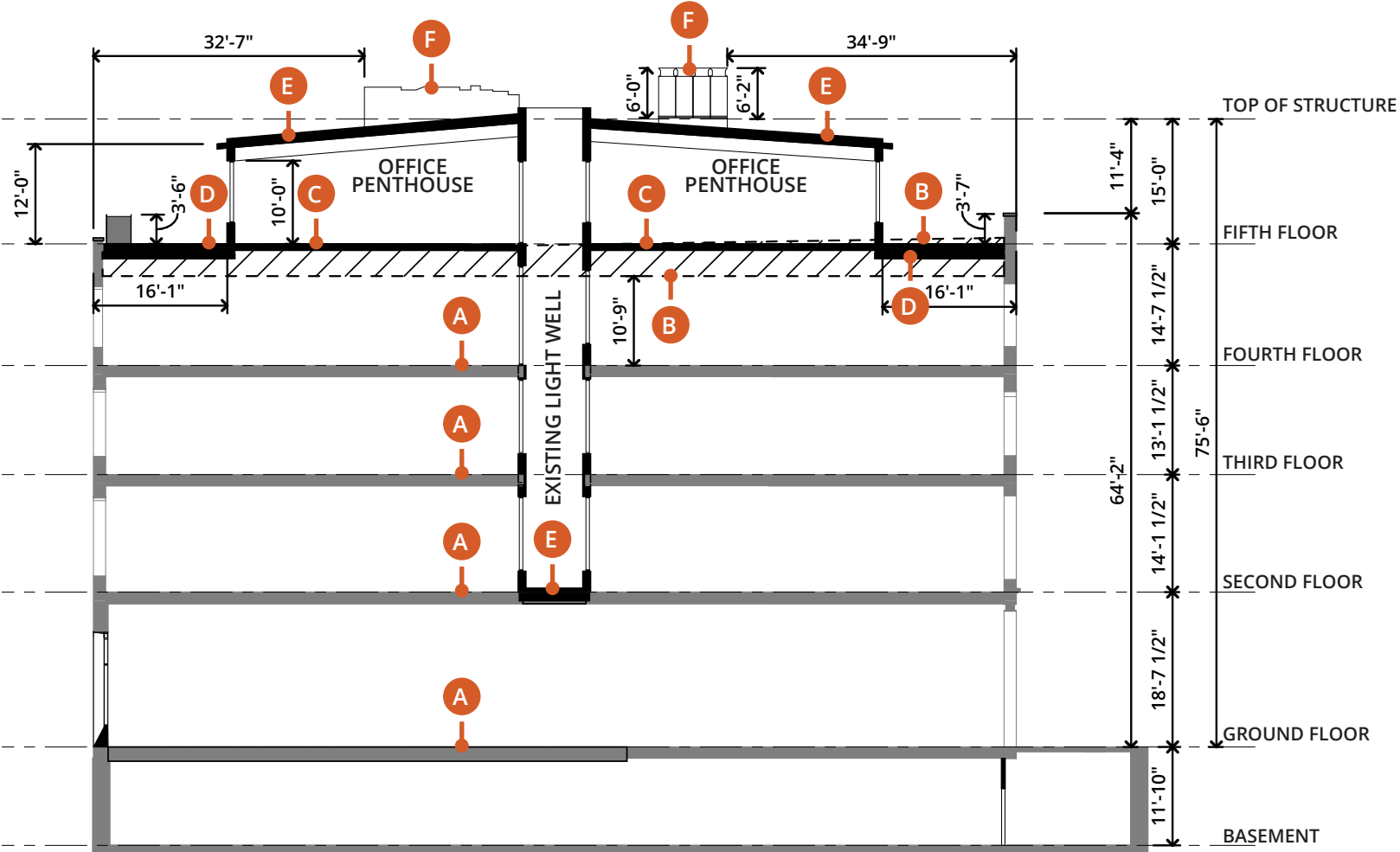


Typical photos of existing Buttnick roof deck from below



Mass timber system of beams, columns, and decking for 4th floor and roof

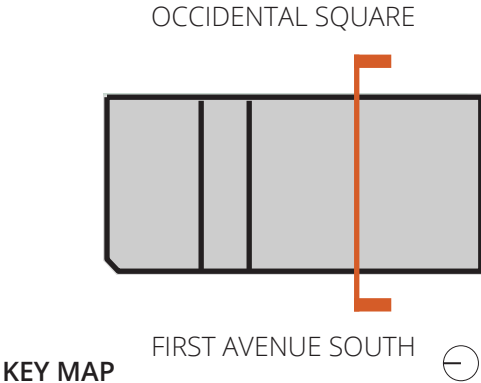
PENTHOUSE SECTION - GRAND CENTRAL



GRAND CENTRAL

KEYNOTES

- A** Existing floor location
- B** Existing roof location
- C** New penthouse floor
- D** New roof deck
- E** New roof
- F** Rooftop mechanical



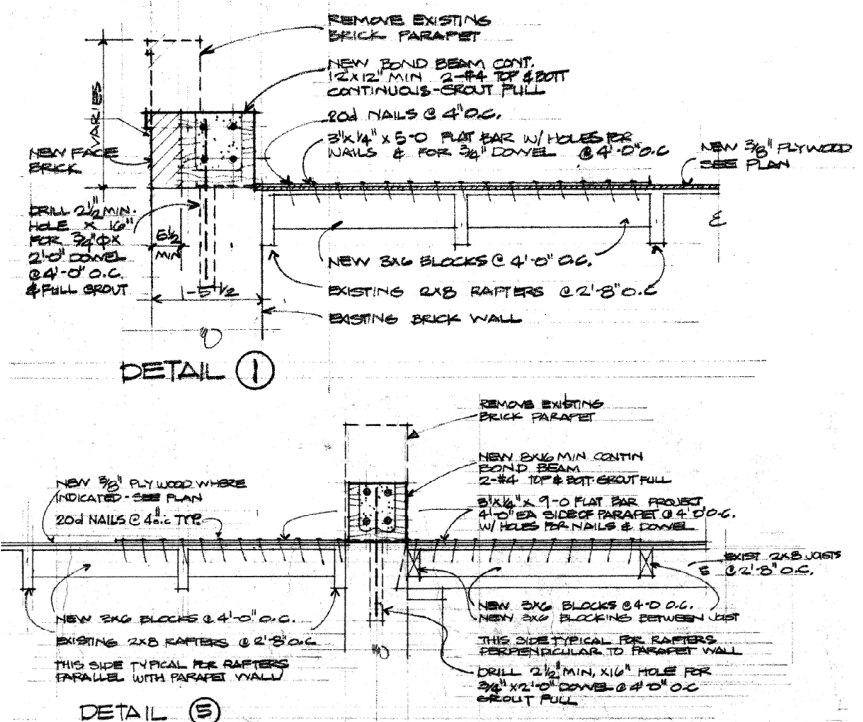
KEY MAP



Ceiling cavity of existing roof structure, photo from 2018

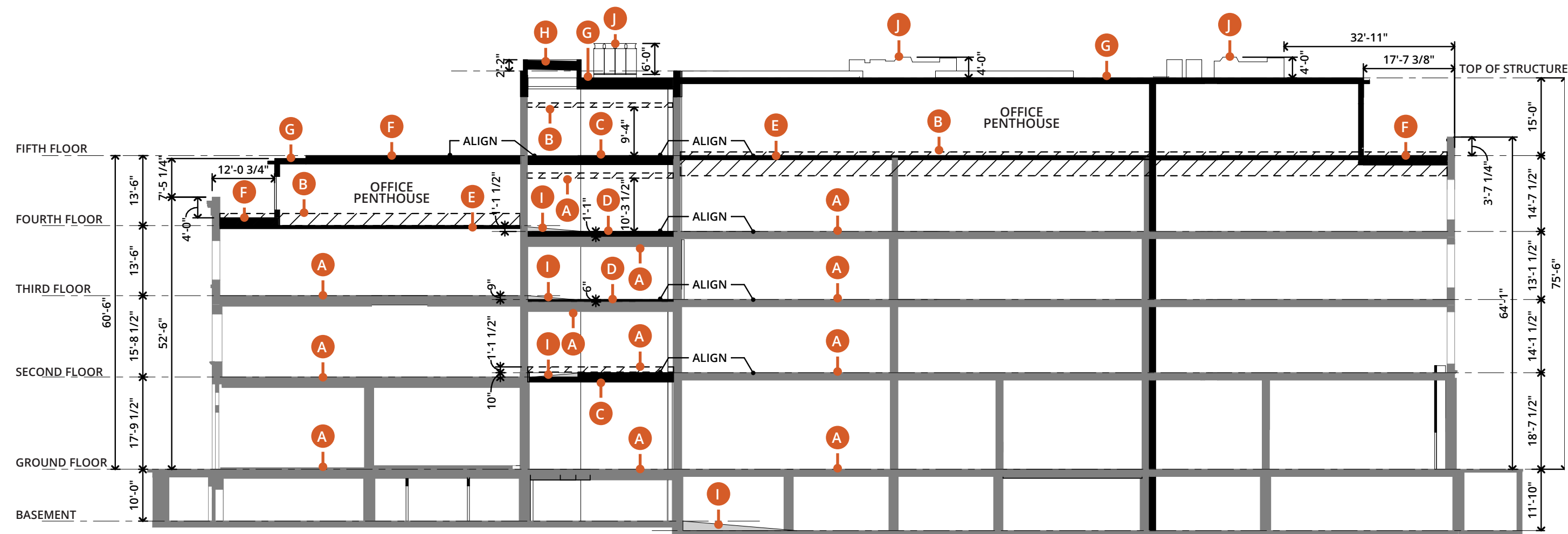
NOTES

1. Bottom of existing ceiling is 10'-9"
2. Existing roof is sloped with light framed wood with gypsum board below. No roof structure is exposed to the interior of the building.
3. The existing roof structure was modified and replaced during previous earthquake repairs and renovations, including the 1972 renovation.
4. The existing South and West parapets and the tops of interior masonry walls were modified and replaced during previous earthquake repairs and renovations, including the 1972 renovation (see details).
5. The remaining small skylights are replacements.
6. Previous renovations included the use of wood glulam beams.
7. New penthouse floor structure is exposed mass timber beams and decking. Mass timber is the modern equivalent of heavy timber. Mass timber provides large solid wood members with a positive environmental impact of carbon sequestration. See photo on previous page.
8. The top of the Grand Central penthouse is 11'-4" above the existing primary elevation parapet. This complies with the 12 foot office penthouse height limit in SMC 23.66.140.C.4.f.



Detail from 1972 showing parapet and interior URM wall modifications

LONGITUDINAL BUILDING SECTION



BUTTNICK

CITY LOAN

GRAND CENTRAL

KEYNOTES

- A** Existing floor location

B Existing roof location

C Relocated Floor

D Overframed floor

E New penthouse floor

F New roof deck
- G** New roof

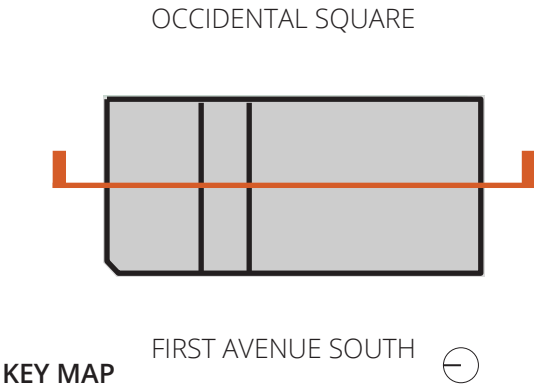
H Elevator overrun

I Ramp

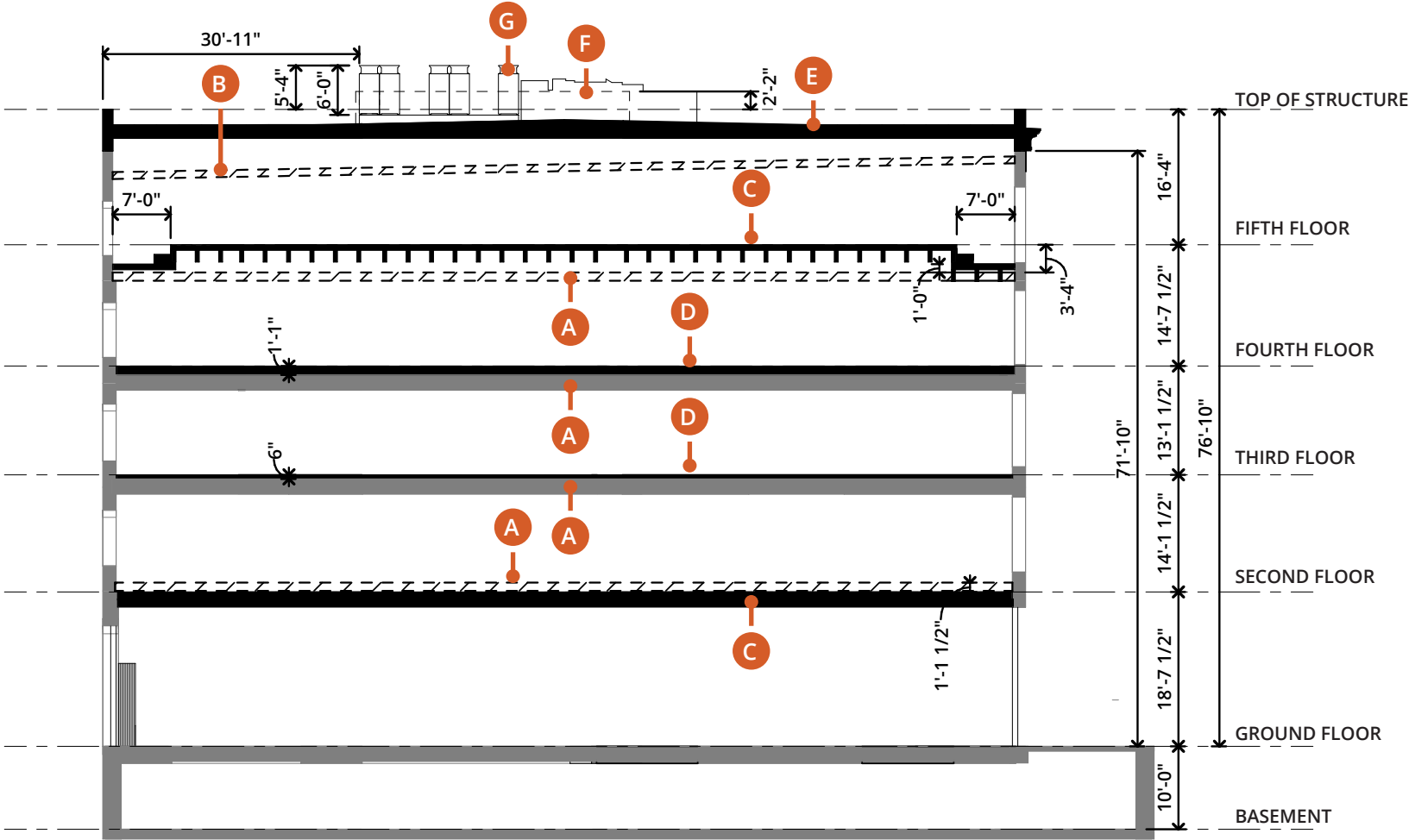
J Rooftop mechanical

NOTES

- Existing building floors do not align. Accessibility and equality for all occupants moving through the buildings requires that ramps comply with ADA and are within the normal circulation paths.
- Height modifications to City Loan floors are limited by using a mix of short distance ramps and over framing of the existing floors.
- The second floor will be disassembled, salvaged, and reconstructed 1' 1-1/2" lower to prevent ramping on both sides of City Loan.
- The fifth floor will be disassembled, salvaged, and reconstructed (see next page) to provide a continuous structural diaphragm across all buildings.



FLOOR SECTION - CITY LOAN



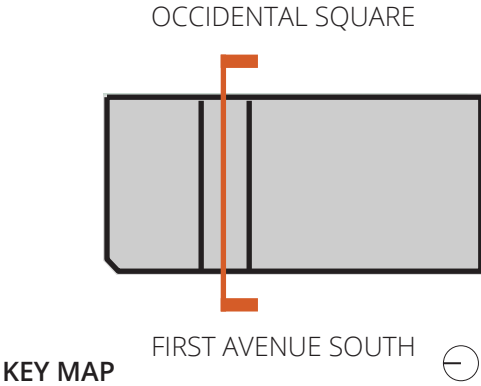
NOTES

1. Existing roof and floor structure is painted exposed heavy timber with exposed wood decking. (see photo) The floor was heavily modified in previous renovations.
2. The second floor will be disassembled, salvaged, and reconstructed 1' 1-1/2" lower. Heavy timber members will be re-used and supported on the existing brick walls. Replacement decking will match existing. All wood structure will be painted.
3. The fifth floor will be disassembled, salvaged, and reconstructed. Heavy timber members will be re-used and supported on the existing brick. The decking will be mass timber as part of the structural system for the floor.
4. A lower floor area will be built near the 5th floor windows to avoid conflicting with the windows.
5. The new roof is mass timber.
6. The third and fourth floors are left in place and over framed. The over framing height is kept below the window stool.

CITY LOAN

KEYNOTES

- A Existing floor location
- B Existing roof location
- C Relocated Floor
- D Over framed floor
- E New roof
- F Elevator Overrun
- G Rooftop mechanical



KEY MAP



Third floor City Loan showing the result of previous floor revisions



Third floor City Loan with windows beyond

VISIBLE EXTERIOR REMOVED ELEMENTS

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IMAGE LIST

- A** Modification at West Buttnick Storefront
- B** Exterior egress stair at Northeast corner of Buttnick
- C** Ivy at Grand Central East facade and Southeast corner
- D** Greenhouse at East City Loan facade
- E** Storefront and URM opening at Northeast Buttnick
- F** Iron bars at Grand Central (multiple locations)



VISIBLE EXTERIOR REMOVED ELEMENTS

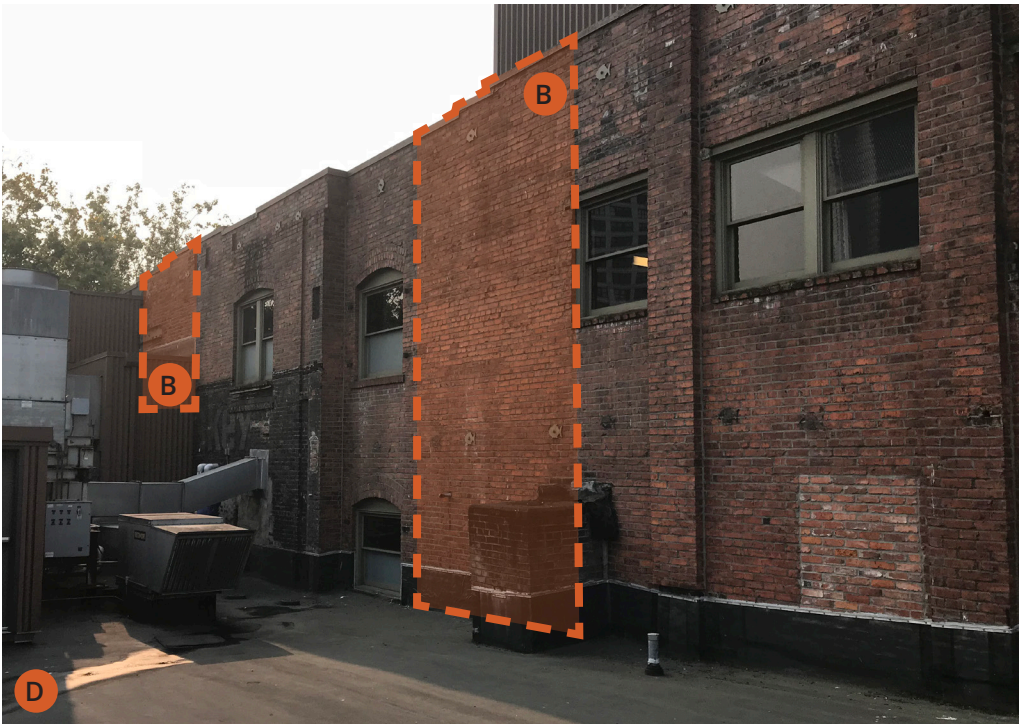


IMAGE LIST

- A** Egress stair overrun at Buttnick roof
- B** Brick removal for access between City Loan and Buttnick
- C** Mechanical equipment at Buttnick roof
- D** 1970s windows overlooking Buttnick roof
- E** URM opening for electrical vault exhaust at Southeast corner of Grand Central



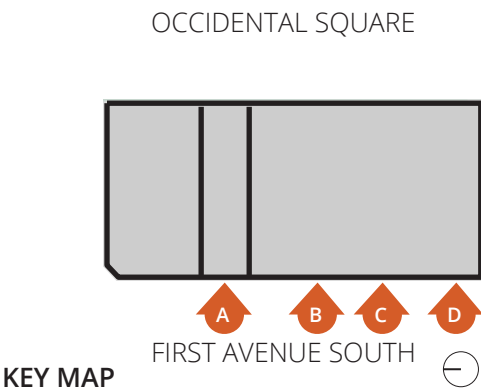
REMOVED STOREFRONT



A EXISTING WEST CITY LOAN STOREFRONT



B EXISTING WEST GRAND CENTRAL STOREFRONT



C EXISTING WEST GRAND CENTRAL ARCADE STOREFRONT



D EXISTING SOUTHWEST GRAND CENTRAL STOREFRONT

REMOVED STOREFRONT



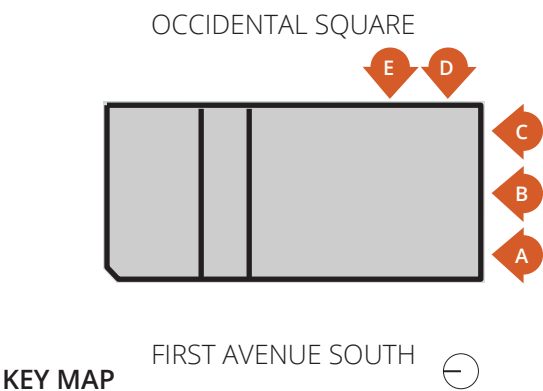
A EXISTING SOUTHWEST GRAND CENTRAL STOREFRONT



B EXISTING SOUTH GRAND CENTRAL STOREFRONT



C EXISTING SOUTHEAST GRAND CENTRAL STOREFRONT



D EXISTING EAST GRAND CENTRAL STOREFRONT



E EXISTING EAST GRAND CENTRAL ARCADE STOREFRONT

REMOVED STOREFRONT



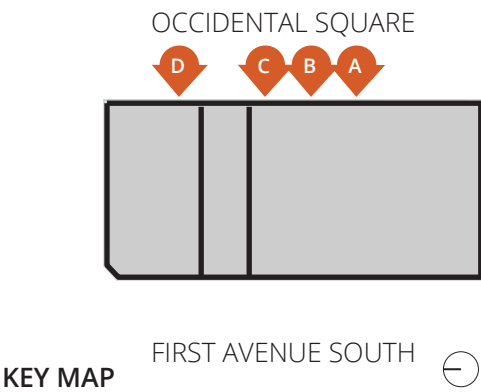
A EXISTING EAST GRAND CENTRAL STOREFRONT



B EXISTING EAST GRAND CENTRAL STOREFRONT



C EXISTING EAST GRAND CENTRAL STOREFRONT



D EXISTING EAST BUTTNICK STOREFRONT

BASEMENT AREAWAY - SCOPE OF WORK



SCOPE

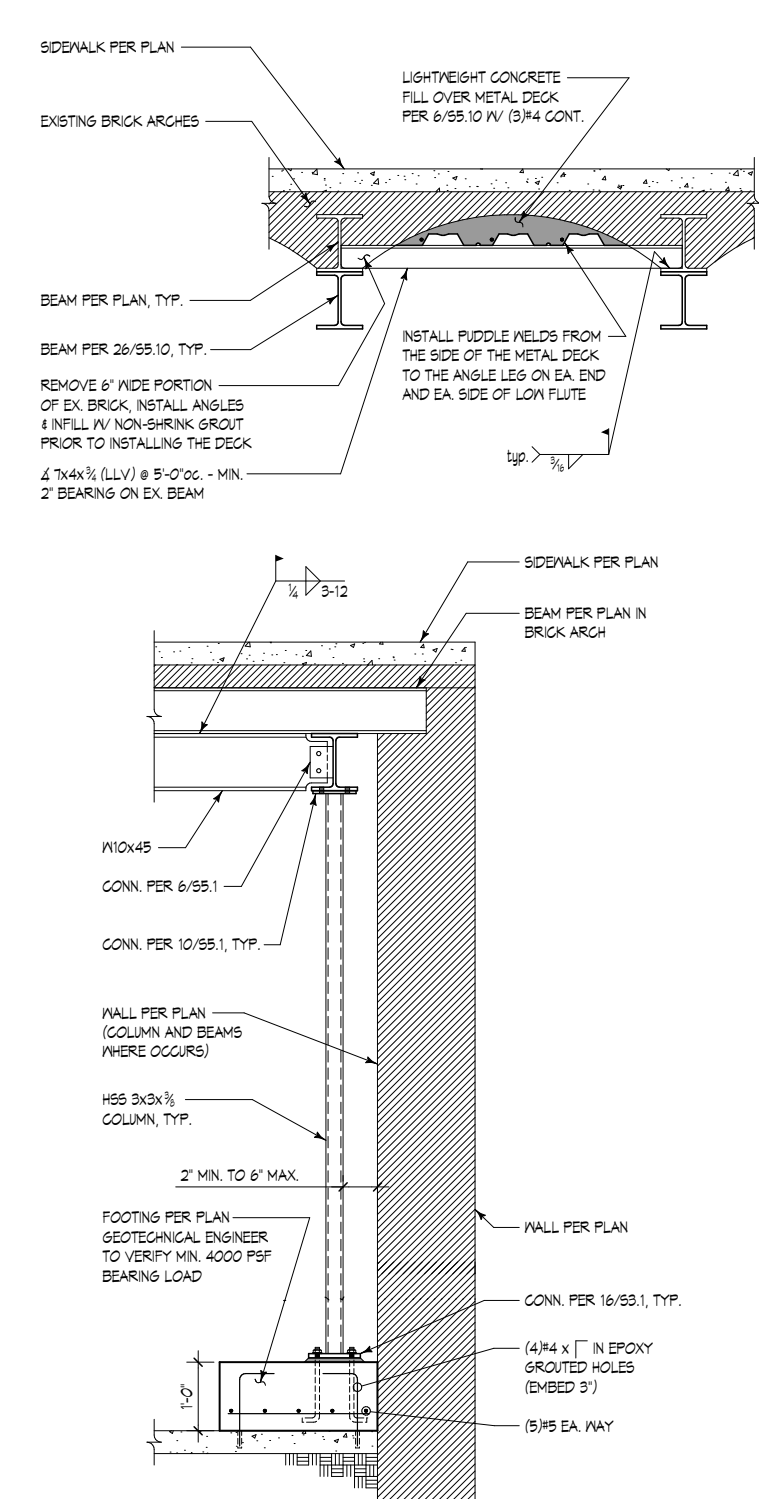
Ventilate areaway to reduce mold and mildew growth. Small openings between compartments combined with fans to encourage circulation.

Resupport brick arches and sidewalk where failing, see structural details on next sheet. Exact locations to be determined.

Strengthen existing SCL vault (to be decommissioned) to provide a safe access route to the new in-building vault.

GRAND CENTRAL AREAWAY - STRUCTURAL DETAIL AND CONDITION PHOTOS

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STRUCTURAL DETAILS

STRUCTURAL DETAILS

GRAND CENTRAL AREAWAY CONDITION

Condition within the grand central areaway is mixed.

- Some brick arches remain.
- Patches of concrete and corrugated metal are commom.
- At tree wells, brick arches were removed and replaced with concrete and corrugated metal.

A full inventory of conditions will be performed to determine where strengthening is required to support the sidewalk above and inhibit further deterioration of the areaway. Ventilation and water infiltration control will improve the lifespan of the existing areaway .



GRAND CENTRAL - AREAWAY CONDITION

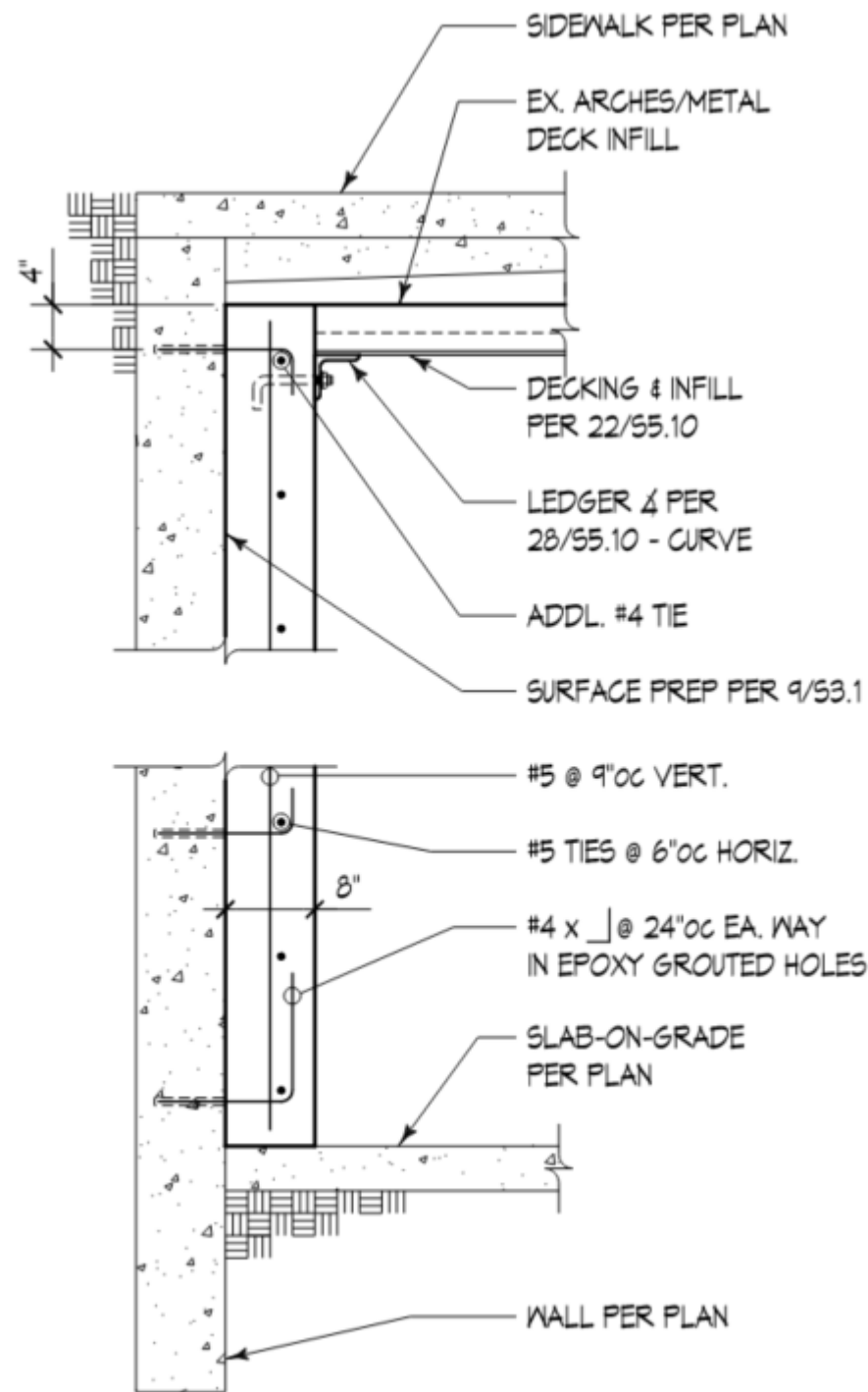


GRAND CENTRAL - AREAWAY CONDITION



GRAND CENTRAL - AREAWAY CONDITION

GRAND CENTRAL AREAWAY - TREE WELL REPAIR



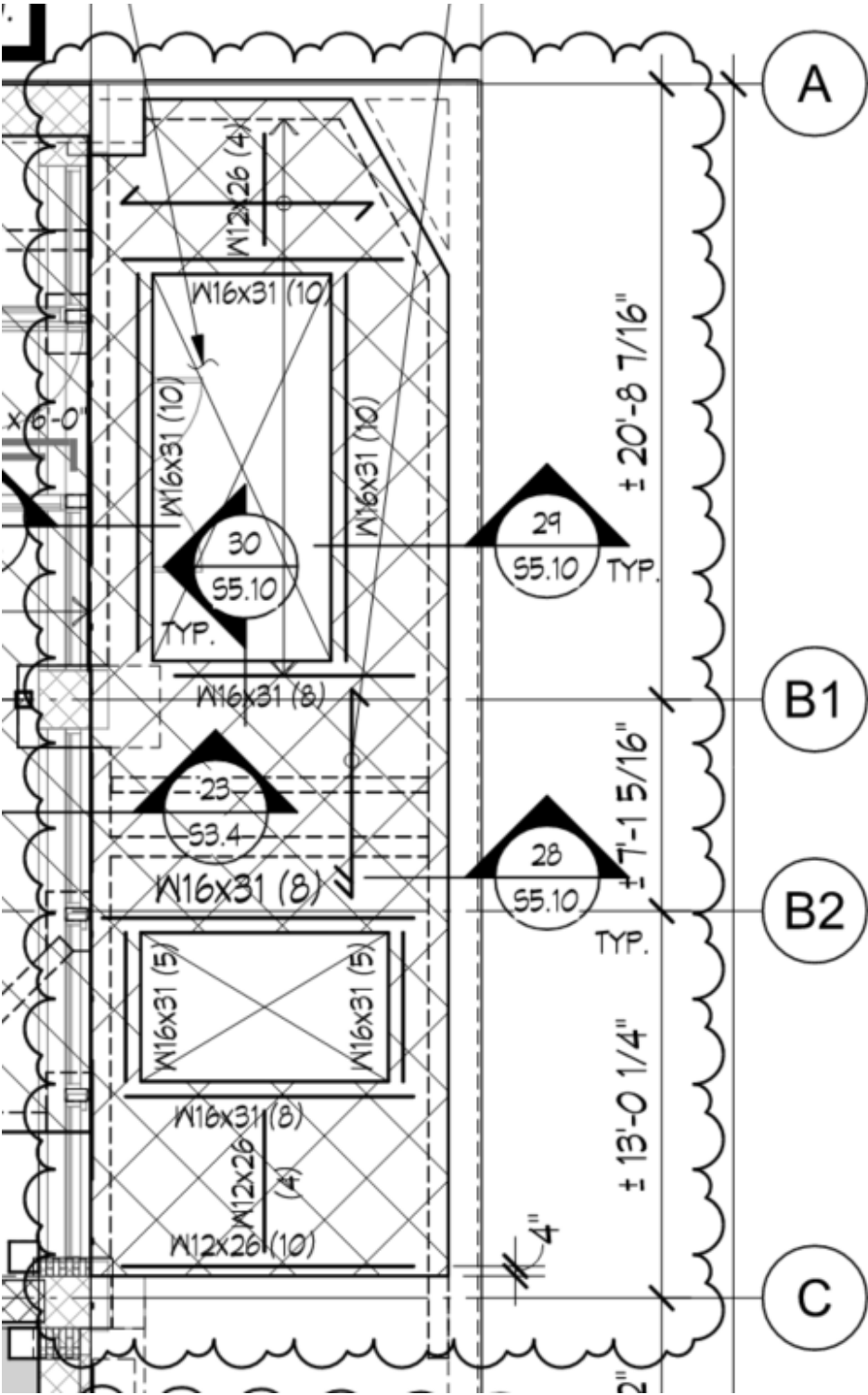
STRUCTURAL DETAIL 23/S5.10 FOR TREE WELL WALL REPAIR



Grand Central Areaway
Jun 22, 2021 at 5:58:34 PM

GRAND CENTRAL - DAMAGED TREE PIT

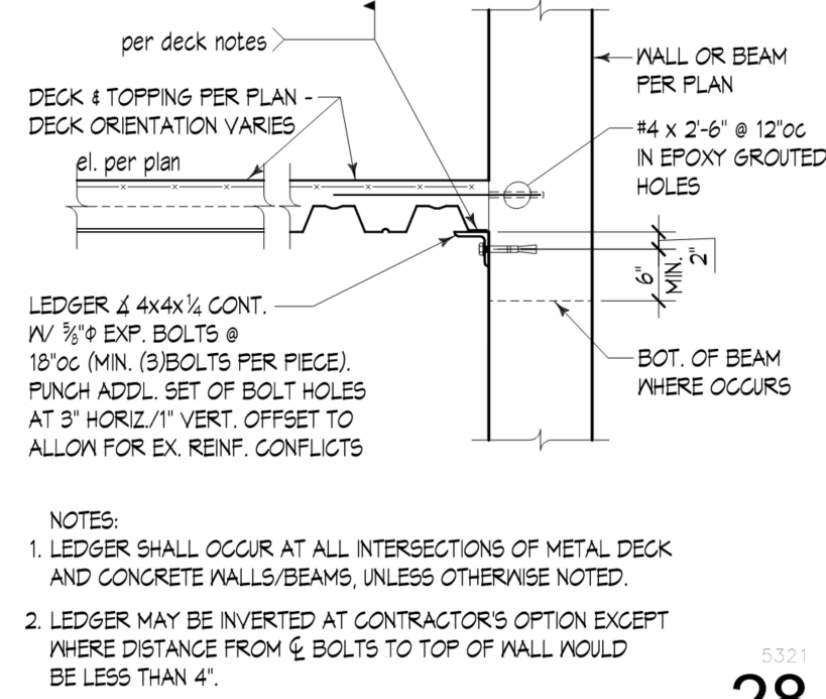
GRAND CENTRAL AREAWAY - SIDEWALK AT NEW VAULT ACCESS



EXTENT OF SIDEWALK REPLACEMENT

GRAND CENTRAL SIDEWALK REPLACEMENT

We are coordinating with the Pioneer Square East-West streets project which has work in the same locations. We will match the existing sidewalk (shown in the picture to the right) or the approved sidewalk of the East West streets project.



STRUCTURAL DETAIL OF SIDEWALK REPLACEMENT



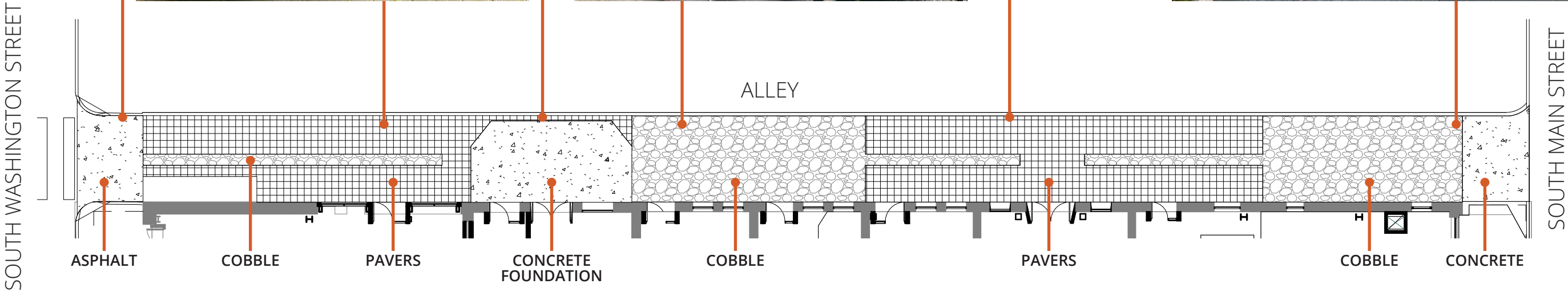
GRAND CENTRAL - DAMAGED TREE PIT

GRAND CENTRAL EXISTING ALLEY FINISH

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- NOTES
- 1. The current paving is very uneven and does not allow for accessible use of the alley. Regrading for even surfaces is required.
 - 2. All non-cobblestone pavers date to the 1990s or later. Non-historic pavers will not be salvaged.

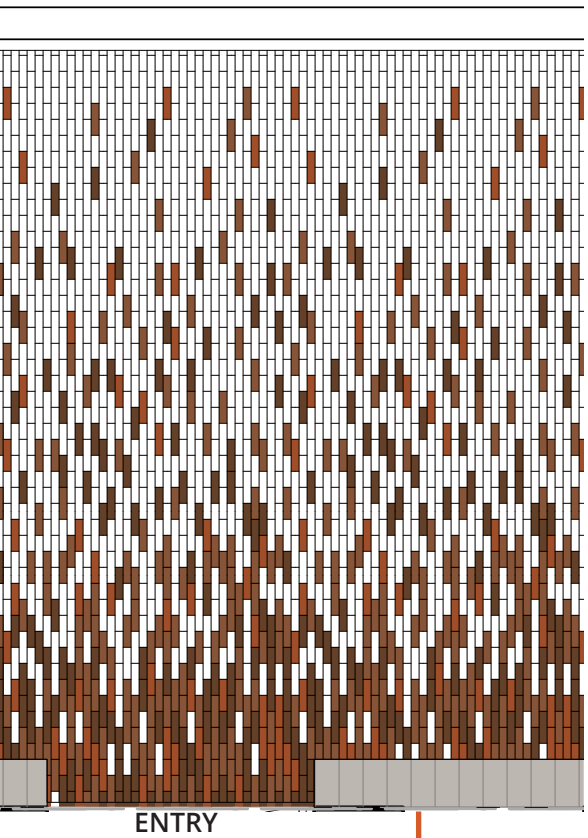
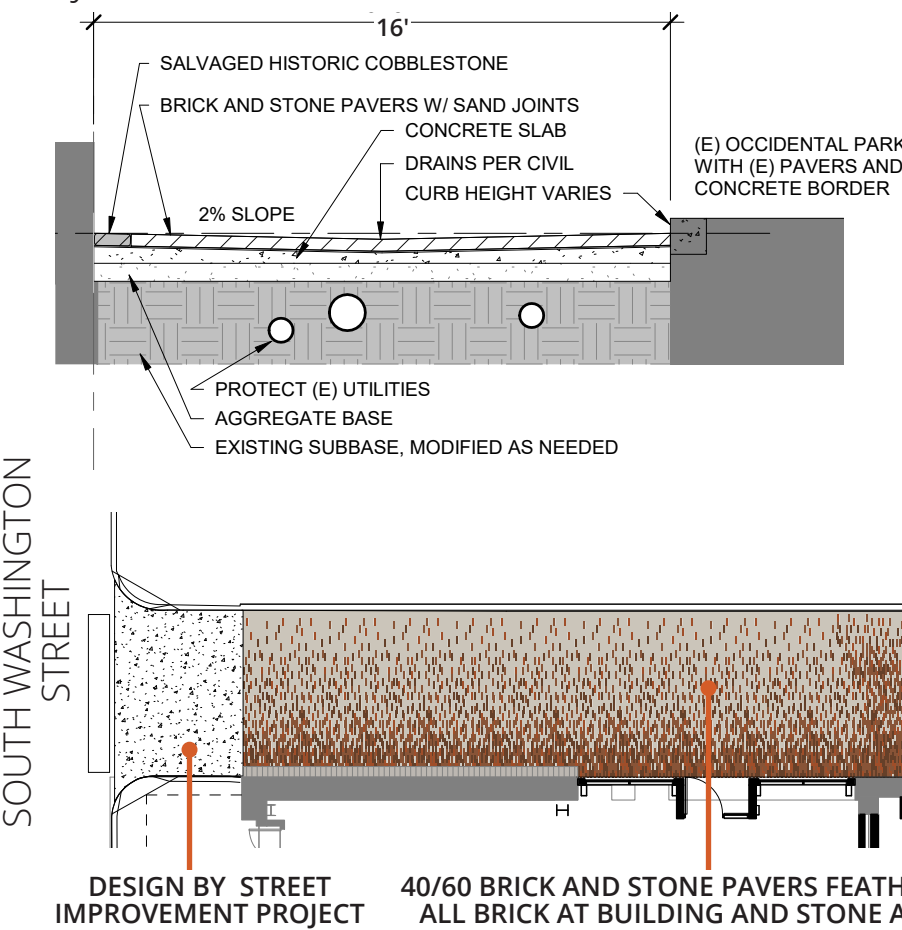


GRAND CENTRAL PROPOSED ALLEY FINISH

Alley Paver Plan

1. We used the Pioneer Square Alley Design Manual as our guide to coordinate with other improvements in Pioneer Square.
2. Historic cobble will be reused as shown to form a 1 foot wide border next to the building.
3. The majority of the alley will be a 50/50 mix of stone pavers and brick pavers. The mix will feather towards more brick near the building and more stone near the park.
4. An 80/20 mix of brick pavers to stone pavers will be used at the main entries to the arcade and to the office lobby. The mix will still feather to more stone near the park.
5. The boundaries of all zones will be blurred by mixing the pavers together.
6. All pavers will be the preferred Pioneer square paver materials (see materials to right). There are no existing bricks in the alley so new red brick pavers will be used near the buildings.

Alley Section



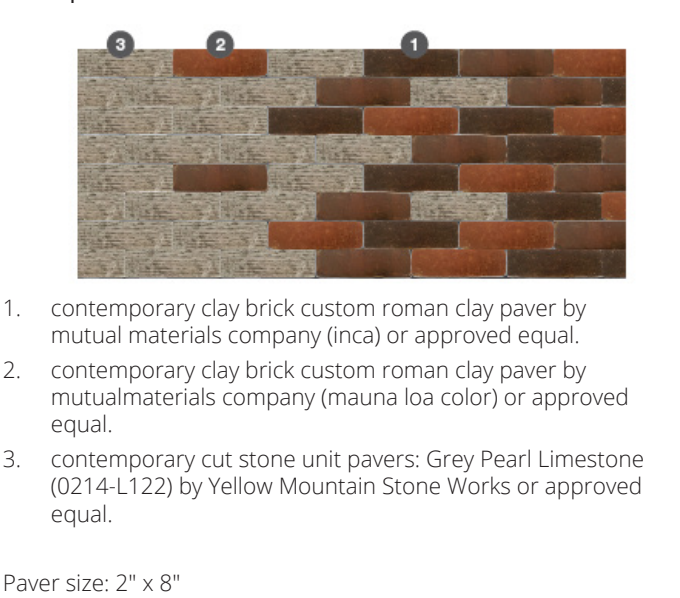
Historic Cobblestone Plan

Historic cobble will be carefully salvaged prior to any other alley work.

Historic cobble be reused in the project as a 1 foot wide border next to the Grand Central and Buttnick buildings. The cobble will not be in front of doors.

The remaining cobble will be provided to the SDOT material yard. The east west streets project will be notified and a hold will be placed on the cobble for reuse as retaining walls and other trim. See photo below for example of cobble reuse as wall. Photo taken in Occidental Park.

Proposed Paver Materials



SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION:

1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The properties were historically retail at the ground floor with office and light manufacturing (Buttnick only) above. Grand Central was renovated into a hotel in c.1897 and back to office use in 1972. The office and ground floor retail is compatible.
2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The design retains character defining features including ground floor storefront, primary central stair and light wells in Grand Central, and the open floor plate in Buttnick. Removal of material is primarily from outside the period of significance. Documentation identifying the when material was added has been and will be provided.
3.

Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Conjectural elements will not be added to the existing buildings. Where insufficient information exists for accurate replication of removed elements, they will not be replaced. Modern versions of historic elements, such as mass timber, are proposed.
4.

Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

The design embraces changes that have occurred over time and have obtained significance, include some 1950's changes to Buttnick after the explosion. The 1970's changes to Grand Central have not met the 50 year threshold, but select significant alterations will be retained to respect the importance and impact of the Ralph Anderson design in 1972 which responded to the new Occidental Square.
5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

The design celebrates the historic craftsmanship of the building, including exposed URM walls, heavy timber structural framing, and cast iron columns.

6.

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Where possible, the historic elements will be cleaned and restored. Where features are replaced, a full survey documenting existing profiles has been or will be performed dependent on building access.
7.

Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Exterior cleaning will use gentle methods in accordance with best practice techniques.
8.

Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Minimal disturbance of surrounding area is proposed. The entire district is developed and was elevated after the 1889 fire.
9.

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Massing of the new additions is intended to limit their visibility from the street. Materials and proportions are proposed based on compatibility with the existing buildings. Each building is addressed individually to respect its own significance and character.
10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Reversibility will be a key factor in the design of new interventions within the building. The essential integrity of the property will be retained.

PIONEER SQUARE COMPLIANCE CHECKLIST

PIONEER SQUARE PRESERVATION DISTRICT GUIDELINES:

III. GENERAL GUIDELINES FOR REHABILITATION AND NEW CONSTRUCTION

New construction must be visually compatible with the predominant architectural styles, building materials, and inherent historic character of the District.

B. Design.

The design of the one-story penthouses incorporates the vertical divisions and wide piers to create repetitive window bays.

C. Building materials.

The ribbed metal panels at the penthouse respond to the human scale of the brick while using light weight modern materials. Weight is a critical factor to avoid increased structural stress on the building.

D. Color.

The Timeless Bronze metal panel color was chosen to complement the existing masonry of the existing buildings. From afar the color blends to create a muted brown similar to the existing Grand Central window color while retaining visual complexity and interest up close. The darker coal black reads as a deep shadow under the eave of the penthouse creating depth and further reducing the visual impact of the penthouse. All other colors are intended to complement and respect the exist palate.

F. Additions.

The proposed one-story penthouses comply with the land use code and are designed to be compatible with the existing building and minimally visible from street level.

VI. HEIGHT LIMITS

The proposed design and one story penthouse addition complies with the height limit of the PSM-100 zone.

VIII. MECHANICAL SYSTEMS

Mechanical systems components installed on the roof will be set back to minimize visual impact and comply with district guidelines.

IX. SECURITY BARS AND GATES

Non-historic security bars and gates installed in previous renovations will be removed from the building.

X. FIRE ESCAPES

The fire escape will be retained.

XIII. SIDEWALK CAFES

Sidewalk cafes will not be enclosed by permanent construction.

XIV. STREET TREES AND VEGETATION

Existing street trees will be protected. Stabilization of areaway tree pits is included as part of this project.

XIX. ALLEYS

The alley is adjacent and connected to Occidental Square. All work in this area will be coordinated with the existing park. The existing greenhouse enclosure encroaching into the alley will be removed.

XX. RULES FOR TRANSPARENCY, SIGNS ,AWNINGS AND CANOPIES

A. Transparency Regulations.

New storefronts and restored existing storefronts will maximize visibility into retail and dining spaces. Additional glazing with maximum transparency is proposed at the alley. Upper floor windows will be clear glass.

B. General Signage Regulations.

Signage is not part of the core and shell application.

C. Specific Signage Regulations.

Signage is not part of the core and shell application.

E. Awnings and Canopies.

Awnings are not part of the core and shell application.